

BEFORE THE NORTH CAROLINA UTILITIES COMMISSION
APPLICATION FOR A CERTIFICATE OF PUBLIC CONVENIENCE & NECESSITY
AND FOR APPROVAL OF RATES

INSTRUCTIONS

Notes or explanations placed in the margins of the application are acceptable. If additional space is needed, supplementary sheets may be attached. If any section does not apply, write "not applicable" or cross out the section.

APPLICANT

1. Trade name used for utility business Pluris Hampstead, LLC
2. Name of owner (if different from trade name) _____
3. Business mailing address 5950 Berkshire Lane, Ste 800
City and state Dallas, TX Zip Code 75225
4. Business street address (if different from mailing address) _____
5. Business telephone number (888) 758-7471
6. If corporation, list the following:
 President Maurice Gallarda, Managing Member Vice President Kenneth Pratt, Member
 Secretary Kenneth Pratt, Member Treasurer Dan Winters, CFO, Member
 Three (3) largest stockholders and percent of voting shares held by each
 Kenneth Pratt, Melissa Pratt, and Maurice Gallarda. Membership %s for each Member will be provided to the NCUC under confidentiality agreement.
7. If partnership, list the owners and percent of ownership held by each

PROPOSED UTILITY SERVICE AREAS

8. Name of Subdivision or Service Area Edens Lane
9. County (or Counties) Pender
10. Type of Service (Water and/or Sewer) Sewer

PROPOSED RATES
(Amount Applicant Proposes to Charge)

11. Metered Residential Service:
 Water: N/A
 Sewer: N/A
12. Flat Rate Residential Service:
 Water: N/A
 Sewer: No Change - as authorized in Docket No. W-1305, Sub 12.
13. Nonresidential Service (explain):
 Water: N/A
 Sewer: No Change - as authorized in Docket No. W-1305, Sub 12.
14. Tap-on fees:
 Water: N/A
 Sewer: No Change - as authorized in Docket No. W-1305, Sub 12
15. Finance charge for late payment: No Change - as authorized in Docket No. W-1305, Sub 12.
 (NCUC Rule R12-9) specifies not more than one percent (1.0%) per month will be applied to the unpaid balance of all bills still past due 25 days after billing date.)
16. Reconnection charge if water service cut off by utility as specified in NCUC Rule R7-20: No Change - as authorized in Docket No. W-1305, Sub 12
17. Reconnection charge if water service discontinued at customer's request: No Change - as authorized in Docket No. W-1305, Sub 12.
18. Reconnection charge if sewer service cut off by utility as specified in NCUC Rule R10-16: No Change - as authorized in Docket No. W-1305, Sub 12.
19. Other charges: No Change - as authorized in Docket No. W-1305, Sub 12.

PROPOSED BILLING

1. Frequency of billing shall be (monthly, quarterly, etc.) No Change - as authorized in Docket No. W-1305, Sub 12.
2. Billing shall be for service (in advance or arrears) No Change - as authorized in Docket No. W-1305, Sub 12
3. Bills past due 15 days after billing dates: (NCUC Rule R12-9 specifies that bills shall not be past due less than fifteen (15) days after billing date).
4. Will regular billing be by written statement? (yes or no) Yes
5. Will the billing statement contain the following? (Indicate yes or no for each item)

(a) Meter reading at beginning and end of billing period	<u>N/A</u>
(b) Date of meter readings	<u>N/A</u>
(c) Gallons used, based on meter readings	<u>N/A</u>
(d) Amount due for current billing period listed as a separate amount	<u>Yes</u>
(e) Amount due from previous billing period listed as a separate amount	<u>Yes</u>
(f) Amount due for each special charge (i.e., deposits, tap fees, etc.) listed as a separate amount ..	<u>Yes</u>
6. Show how the following will appear on the billing statement:

(a) Mailing address of company: <u>Pluris Hampstead, LLC, PO Box 297, Hampstead NC 28443</u>
(b) Address where bill can be paid in person: <u>Pluris's National Call Center - 121 Dan Owen Dr Hampstead, NC 28443</u> Customers can also pay in person at any Walmart Store nearby.
(c) Name and phone number of alternative persons to contact for emergency service after business hours: <u>Dial (888) 758-7471; After Hours Service will take message and immediately contact Regional Manager in the area.</u>
7. Is service already metered? (yes or no) N/A
8. Does the Applicant understand the provisions for establishing credit and collecting customer deposits set forth in NCUC Rules and Regulations, Chapter 12? (yes or no) Yes
(Customer deposits must be refunded to customers having not more than two (2) bills overdue during a 12-month period and who are not then delinquent on the payment of their bills, per NCUC Rule R12-5.)

PRESENT RATES

9. Are you presently charging for service? If so, describe the rates being charged.
No - Rates to be billed as authorized in Docket No. W-1305, Sub 12.
10. How long have these rates been in effect? Since November 13, 2020, the date of the Order issued in Docket No. W-1305, Sub 12.

PERSONS TO CONTACT

	<u>NAME</u>	<u>ADDRESS</u>	<u>TELEPHONE</u>
11. General Manager	<u>Kris King</u>	<u>PO Box 297, Hampstead NC</u>	<u>(888) 758-7471</u>
12. Complaints or Billing	<u>Beverly Yopp</u>	<u>PO Box 297, Hampstead NC</u>	<u>(888) 758-7471</u>
13. Engineering Operations	<u>Kris King</u>	<u>PO Box 297, Hampstead NC</u>	<u>(888) 758-7471</u>
14. Emergency Service	<u>Customer Care</u>	<u>PO Box 297, Hampstead NC</u>	<u>(888) 758-7471</u>
15. Accounting	<u>Dan Winters</u>	<u>5950 Berkshire Ln, Ste 800, Dallas, TX</u>	<u>((888) 758-7471</u>

16. Are the names and phone numbers shown above listed in the phone book by each of the proposed service areas? (yes or no) No. The numbers are listed on the Pluris Holdings website at www.plurisusa.com.
17. Can customers make phone calls for service without being charged for a long distance phone call? (yes or no) Yes
18. Do persons designated to receive phone calls for emergency service, after regular business hours, have authority to provide the needed repairs without first contacting owner? (yes or no) Yes
19. List the qualifications of the person in charge of the utility system:
Kris King; CS4 #1011160; WW4 #1002807
20. List the date(s) and describe any DENR violation(s) since the last application for franchise, transfer, or rate increase: None.

SERVICE AREA

Fill in one column for each subdivision or service area.

	(1)	(2)	(3)
1. Name of subdivision or service area	Edens Lane		
2. County (or Counties)	Pender		
3. Type of service (water, sewer, etc.)	Sewer		
4. If water is purchased, list from whom	N/A		
5. Source of water supply (wells, etc.)	N/A		
6. Number of wells in service	N/A		
7. Pumping capacity of each pump in service	N/A		
8. Elevated storage tank capacity (gals.)	N/A		
9. Pressure tank capacity (gals.)	N/A		
10. Types of water treatment (chlorine, etc.)	N/A		
11. Number of fire hydrants installed	N/A		
12. Is sewage disposal by septic tank or by sewer system?	N/A		
13. If disposal is by sewer system, is sewage treated by utility company or by others?	N/A		
14. Capacity of Company's sewage treatment plant (gallons per day)	500,000 gpd		
15. Is service metered? (yes or no)	N/A		
16. Number of water meters in use	N/A		
17. Number of service taps in use (list number of each size)	Water N/A		
	Sewer 1		
18. Number of customers at the end of test year	Water N/A		
	Sewer 1,088		
19. Number of customers that can be served by mains already installed (including present customers, vacant lots, etc.)	Water N/A		
	Sewer 2,778		
20. Number of customers that can be served by pumping capacity	Water N/A		
21. Number of customers that can be served by storage tank capacity	Water N/A		
22. Number of customers that can be served by treatment plant capacity	Sewer 2,778		
23. Name nearest water/sewer utility system	Pluris Hampstead		
24. Distance to nearest water/sewer utility system	3,077 FEET		
25. Does any other person or utility seek to furnish the service(s) proposed herein? (yes or no)	No		
26. a. DENR System I.D. No.	Water N/A		
b. NPDES or Nondischarge Permit No.	Sewer WQ0037287		

FINANCIAL STATEMENT

1. Will a separate set of books be maintained for the utility business?
Yes _____
2. Will a separate bank account be maintained for the utility business?
Yes _____
3. Are the revenues and expenses listed below based on past operations or are they estimated for future operations?
(actual or estimated) Estimated _____

*Pluris Hampstead, LLC holds a public utility franchise.
Rates will be the same as approved by the NCUC.*

REVENUES AND EXPENSES

For 12 Months Ended N/A (Date)

<u>Revenues</u>	<u>Water</u>	<u>Sewer</u>
4. Residential service (flat rate)	\$ <u>N/A</u>	\$ <u>N/A</u>
5. Residential service (metered rate)	\$ <u>N/A</u>	\$ <u>N/A</u>
6. Nonresidential service (flat rate)	\$ <u>N/A</u>	\$ <u>N/A</u>
7. Nonresidential service (metered rate)	\$ <u>N/A</u>	\$ <u>N/A</u>
8. Other revenues (describe in remarks below)	\$ <u>N/A</u>	\$ <u>N/A</u>
9. Total Revenues (Lines 4 thru 8)	\$ <u>N/A</u>	\$ <u>N/A</u>
10. Total salaries (except owner)	\$ <u>N/A</u>	\$ <u>N/A</u>
11. Salaries paid to owner	\$ <u>N/A</u>	\$ <u>N/A</u>
12. Administrative and office expense (except salaries)	\$ <u>N/A</u>	\$ <u>N/A</u>
13. Maintenance and repair expense (except salaries)	\$ <u>N/A</u>	\$ <u>N/A</u>
14. Transportation expenses	\$ <u>N/A</u>	\$ <u>N/A</u>
15. Electric power for pumping	\$ <u>N/A</u>	\$ <u>N/A</u>
16. Chemicals for treatment	\$ <u>N/A</u>	\$ <u>N/A</u>
17. Testing fees	\$ <u>N/A</u>	\$ <u>N/A</u>
18. Permit fees	\$ <u>N/A</u>	\$ <u>N/A</u>
19. Purchased water/sewer treatment	\$ <u>N/A</u>	\$ <u>N/A</u>
20. Annual depreciation	\$ <u>N/A</u>	\$ <u>N/A</u>
21. Taxes: State income taxes	\$ <u>N/A</u>	\$ <u>N/A</u>
22. Federal income taxes	\$ <u>N/A</u>	\$ <u>N/A</u>
23. Gross receipts (or franchise tax)	\$ <u>N/A</u>	\$ <u>N/A</u>
24. Property taxes	\$ <u>N/A</u>	\$ <u>N/A</u>
25. Payroll taxes	\$ <u>N/A</u>	\$ <u>N/A</u>
26. Other taxes	\$ <u>N/A</u>	\$ <u>N/A</u>
27. Interest on debt during year	\$ <u>N/A</u>	\$ <u>N/A</u>
28. Other expenses (describe in remarks below)	\$ <u>N/A</u>	\$ <u>N/A</u>
29. Total Expenses (Lines 10 thru 28)	\$ <u>N/A</u>	\$ <u>N/A</u>
30. Net Income (Line 9 minus Line 29)	\$ <u>N/A</u>	\$ <u>N/A</u>

Remarks

31. N/A
32. N/A
33. N/A
34. N/A
35. N/A

NUMBER OF CUSTOMERS SERVED

	<u>Water</u>		<u>Sewer</u>	
	<u>Flat Rate</u>	<u>Metered</u>	<u>Flat Rate</u>	<u>Metered</u>
36. Customers at beginning of year	<u>N/A</u>	<u>N/A</u>	<u>913</u>	<u>N/A</u>
37. Customers at end of year	<u>N/A</u>	<u>N/A</u>	<u>1,088</u>	<u>N/A</u>
38. Average gallons used per customer	<u>@180 gallons per day per 3 bedroom dwelling = 5,875,200 per month</u>			

COST OF UTILITY SYSTEM

1. Is the cost of utility system listed below based on past operation, or is it estimated for future operation?
(actual or estimated) Estimated
2. Does the cost of utility system listed below represent the cost to the Applicant herein? (yes or no)
N/A - Developer is responsible for the entire cost.
If no, list cost (purchase price to Applicant). N/A

ORIGINAL COST OF UTILITY SYSTEM

As of Year Ended December 31, 2022 (Date)

Note: List the total original cost to construct and establish the system, whether or not paid for by the present owner.

	<u>Balance at End of Year</u>	
	<u>Water</u>	<u>Sewer</u>
<u>Utility Property In Service</u>		
3. Land and rights-of-way	\$ <u>N/A</u>	\$ <u>N/A</u>
4. Structures and site improvement	\$ <u>N/A</u>	\$ <u>N/A</u>
5. Wells	\$ <u>N/A</u>	\$ <u>N/A</u>
6. Pumping equipment	\$ <u>N/A</u>	\$ <u>500,000</u>
7. Treatment equipment	\$ <u>N/A</u>	\$ <u>N/A</u>
8. Storage tanks	\$ <u>N/A</u>	\$ <u>N/A</u>
9. Mains (excluding service connections)	\$ <u>N/A</u>	\$ <u>120,000</u>
10. Service connections	\$ <u>N/A</u>	\$ <u>57,000</u>
11. Meters (including spare meters)	\$ <u>N/A</u>	\$ <u>N/A</u>
12. Office furniture and equipment	\$ <u>N/A</u>	\$ <u>N/A</u>
13. Transportation equipment	\$ <u>N/A</u>	\$ <u>N/A</u>
14. Other utility property in service (describe in remarks below)	\$ <u>N/A</u>	\$ <u>N/A</u>
15. Total utility property in service (Lines 3 thru 14)	\$ <u>N/A</u>	\$ <u>N/A</u>
16. Less: accumulated depreciation	\$ <u>N/A</u>	\$ <u>N/A</u>
17. Less: accumulated tap fees and other contributions in aid of construction	\$ <u>N/A</u>	\$ <u>448,000</u>
18. Less: customer advances	\$ <u>N/A</u>	\$ <u>N/A</u>
19. Net investment in utility property (Line 15 minus 16, 17, & 18)	\$ <u>N/A</u>	\$ <u>N/A</u>

	<u>Balance at End of Year</u>	
	<u>Water</u>	<u>Sewer</u>
<u>Utility Property Not in Service</u>		
20. Construction work in progress	\$ <u>N/A</u>	\$ <u>N/A</u>
21. Property held for future use	\$ <u>N/A</u>	\$ <u>N/A</u>
22. Other (describe in remarks below)	\$ <u>N/A</u>	\$ <u>N/A</u>

Remarks

23. _____
24. _____
25. _____
26. _____

EXHIBITS

THE FOLLOWING EXHIBITS SHALL BE ATTACHED TO THE APPLICATION:

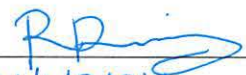
1. If the Applicant is a corporation, enclose a copy of the Articles of Incorporation on file with the North Carolina Secretary of State. (Not required if previously filed with the Commission.) Not required. Previously filed.
2. If the Applicants are doing business as a partnership, enclose a copy of the partnership agreement. (Not required if previously filed with the Commission.) Not applicable.
3. If the Applicant is conducting business under a trade name or d/b/a, enclose a copy of the certificate filed with the register of deeds in each county where the Applicant will be conducting business as required by G.S. 66-68. N.A.
4. Enclose a copy of a letter from the Department of Environment and Natural Resources granting approval of the plans for each water system. Not applicable.
5. Enclose a copy of a letter from the Department of Environment and Natural Resources granting approval of the plans for each sewer system. NCDEQ Permit is attached
6. Enclose a copy of a Division of Environmental Health (DEH) report on a chemical analysis of untreated water from each well. (This should not be confused with the monthly samples submitted to DEH for bacteriological analysis. Contact DEH for instructions to obtain a sample for chemical analysis.) Not applicable.
7. Enclose a copy of purchase agreements or contracts showing provision for ownership or control of the water or sewer systems, including sites for wells or treatment plants. Pluris holds a public utility franchise.
8. Enclose a copy of contracts or agreements, including all attachments, exhibits, and appendices, between the utility and any other party (land developers, customers, etc.) regarding the proposed utility services, including contracts regarding tap fees, construction costs, easements, and rights-of-way, etc. (If none, write "none"). Attached.
9. Enclose a vicinity map showing the location of the proposed subdivisions or service areas in sufficient detail for someone not familiar with the county to locate the subdivisions. (A county roadmap with the subdivisions outlined is suggested.) Attached.
10. Enclose maps of the subdivisions in sufficient detail to show the layout of streets, lots, the water or sewer mains, hydrants, wells, pumping equipment, treatment facilities, storage facilities, etc. Attached.
11. Enclose a copy of the workpapers supporting the estimate of the plant costs, including a breakdown by type of plant item, showing the detail of how the estimated cost was determined, and indicating which plant items, if any, will be contributed to the utility. Not applicable. The Developer paid for in tract infrastructure.
12. Enclose a copy of the most recent fiscal year financial statements, audited if available, for the Applicant. Please reference Sub 25 for Exhibit 12.
13. Enclose a copy of the most recent fiscal year financial statements, audited if available, for the parent company of the Applicant. N.A.
14. If the information requested in Exhibits 12 and 13 is not available, enclose a copy of the most recent fiscal year financial statements or statement of net worth for the principals of the utility and/or parent company.

FILING INSTRUCTIONS

15. Eight (8) copies of the application and exhibits shall be filed with the **North Carolina Utilities Commission, 4325 Mail Service Center, Raleigh, North Carolina 27699-4325**. One of these copies must have an original signature. (Applicants must also provide any copies to be returned to them.)
16. Enclose a filing fee as required by G. S. §62-300. A Class A company (annual revenues of \$1,000,000 or more) requires a \$250 filing fee. A Class B company (annual revenues between \$200,000 and \$1,000,000) requires a \$100 filing fee. A Class C company (annual revenues less than \$200,000) requires a \$25 filing fee. **MAKE CHECK PAYABLE TO THE N.C. DEPARTMENT OF COMMERCE/UTILITIES COMMISSION.**

SIGNATURE

17. Application shall be signed and verified by the Applicant.

Signature 
 Date 4/1/2024

18. (Typed or Printed Name) Raquel Diaz
 personally appearing before me and, being first duly sworn, says that the information contained in this application and in the exhibits attached hereto are true to the best of his/her knowledge and belief.

State: North Carolina
 County: Onslow

This the 1 day of April, 2024
Erica D. Gandy
 Notary Public

Erica D. Gandy
1075 NC HWY 210 Sneads Ferry NC 28460
 Address

My Commission Expires: September 1, 2025
 Date



ADDENDUM TO APPLICATION FOR CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY AND FOR APPROVAL OF RATES

PROJECTED INCOME STATEMENT

LINE NO.	Item	Year 1	Year 2	Year 3	Year 4	Year 5
Operating Revenue						
1	Meter Service revenue	-	-	-	-	-
2	Flat rate service revenue (1)	29,700.00	59,400.00	89,100.00	118,800.00	136,620.00
3	Bulk sewer revenue (2)	-	-	-	-	-
4	Re-connect fees	-	-	-	-	-
5	Returned check charge	-	-	-	-	-
6	Late payment charge	-	-	-	-	-
7	Other operating revenue	-	-	-	-	-
8	Total operating revenue (Sum of Line 1 thru 7)	<u>29,700.00</u>	<u>59,400.00</u>	<u>89,100.00</u>	<u>118,800.00</u>	<u>136,620.00</u>
Operating expenses						
9	Total salaries and wages	169,317.00	169,317.00	169,317.00	169,317.00	169,317.00
10	Outside Labor expenses	862.00	1,724.00	2,585.00	3,447.00	3,984.00
11	Administrative and office expense	-	-	-	-	-
12	Maintenance and repair expense	-	-	-	-	-
13	Purchased water	-	-	-	-	-
14	Purchased sewage treatment	-	-	-	-	-
15	Electric power expense	2,351.00	4,701.00	7,052.00	9,403.00	10,813.00
16	Chemical expense	2,022.00	4,044.00	6,066.00	8,088.00	9,302.00
17	Testing fees	730.00	1,461.00	2,191.00	2,922.00	3,360.00
18	Transportation expense	-	-	-	-	-
19	Other operating expense	<u>5,622.00</u>	<u>11,244.00</u>	<u>16,867.00</u>	<u>22,489.00</u>	<u>25,862.00</u>
20	Total operation and maintenance expenses (Sum of Line 9 thru Line 19) (3)	<u>180,904.00</u>	<u>192,491.00</u>	<u>204,078.00</u>	<u>215,666.00</u>	<u>222,618.00</u>
21	Annual depreciation expense	991.00	(5,147.00)	(5,147.00)	(5,147.00)	(5,147.00)
22	Property taxes paid on utility property	-	-	-	-	-
23	Payroll taxes	12,953.00	12,953.00	12,953.00	12,953.00	12,953.00
24	Franchise (gross receipts) tax	-	-	-	-	-
25	Annual NCUC regulatory fee	<u>44.00</u>	<u>88.00</u>	<u>132.00</u>	<u>176.00</u>	<u>202.00</u>
26	Total operating expenses (Sum of Line 20 thru Line 25)	<u>194,892.00</u>	<u>200,385.00</u>	<u>212,016.00</u>	<u>223,648.00</u>	<u>230,626.00</u>
Income Taxes						
27	State income taxes	-	-	-	-	-
28	Federal income taxes	-	-	-	-	-
29	Total income taxes (Line 27 + 28) (4) (5)	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
30	Net operating income (loss) (Line 8 - Line 26 - Line 29)	<u>(165,192.00)</u>	<u>(140,985.00)</u>	<u>(122,916.00)</u>	<u>(104,848.00)</u>	<u>(94,006.00)</u>
31	Interest expense	-	-	-	-	-
32	Net income (loss) (Line 30 - Line 31)	<u>\$ (165,192.00)</u>	<u>\$ (140,985.00)</u>	<u>\$ (122,916.00)</u>	<u>\$ (104,848.00)</u>	<u>\$ (94,006.00)</u>

Notes: (1) Flat rate revenues have been calculated using the flat base rate of \$82.50 (per Docket W-1305, Sub 12) times the number of expected ERC's at year end.

(2) Bulk rate revenues have been calculated using a proposed rate of \$7.00 per 1,000 gallons times the number of estimated wastewater gallons at year-end.

(3) O&M expense has been factored using the estimated homes as a percentage of total ERCs times the total expense from Docket W-1305, Sub 12 (with the only exception being salaries and wages). The preceding years 1 - 4 have been calculated as a percentage based on expected year end ERC's and the number of ERC's at build out.

(4) The projected income statement is based on estimates provided by management. Actual results over five year period may vary significantly.

ADDENDUM TO APPLICATION FOR CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY AND FOR APPROVAL OF RATES

Statement of Cash Flows

LINE NO.	Item	Year 1	Year 2	Year 3	Year 4	Year 5
<u>Cash Flows From Operating Activities</u>						
1	Pre-tax operating income (loss):					
2	Total operating revenue	29,700.00	59,400.00	89,100.00	118,800.00	136,620.00
3	Less: Operation and maintenance expenses	180,904.00	192,491.00	204,078.00	215,666.00	222,618.00
4	Less: Taxes other than income	12,997.00	13,041.00	13,085.00	13,129.00	13,155.00
5	Pre-tax operating income (loss)	<u>(164,201.00)</u>	<u>(146,132.00)</u>	<u>(128,063.00)</u>	<u>(109,995.00)</u>	<u>(99,153.00)</u>
6	Income tax calculation:					
7	Pre-tax operating income (loss)	(164,201.00)	(146,132.00)	(128,063.00)	(109,995.00)	(99,153.00)
8	Plus: Contributions in aid of construction	-	-	-	-	-
9	Less: Tax depreciation	36,040.00	45,000.00	45,000.00	45,000.00	45,000.00
10	Less: Interest expense	-	-	-	-	-
11	Taxable income (loss)	-	-	-	-	-
12	State income tax	-	-	-	-	-
13	Federal income tax	-	-	-	-	-
14	Total income taxes to be paid	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
15	Net cash provided by (used in) operating activities	<u>(164,201.00)</u>	<u>(146,132.00)</u>	<u>(128,063.00)</u>	<u>(109,995.00)</u>	<u>(99,153.00)</u>
<u>Cash Flows From Investing Activities</u>						
16	Purchases of utility plant	901,000.00	224,000.00	-	-	-
17	Plus: Cash bonds posted	-	-	-	-	-
18	Less: Contributions in aid of construction	901,000.00	224,000.00	-	-	-
19	Less: Proceeds from disposal of utility plant	-	-	-	-	-
20	Net cash used (provided) by investing activities	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Cash Flows From Financing Activities</u>						
21	Proceeds from issuing short term debt	-	-	-	-	-
22	Less: Principal repayment of short term debt	-	-	-	-	-
23	Plus: Proceeds from issuing long term debt	-	-	-	-	-
24	Less: Principal repayment of long term debt	-	-	-	-	-
25	Less: Interest payment for short and long term debt	-	-	-	-	-
26	Plus: Proceeds from issuing stock	-	-	-	-	-
27	Less: Dividends paid	-	-	-	-	-
28	Plus: Funds provided by owner	-	-	-	-	-
29	Net cash provided (used) by financing activities	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
30	Net increase (decrease) in cash	(164,201.00)	(146,132.00)	(128,063.00)	(109,995.00)	(99,153.00)
31	Cash balance at beginning of year	-	(164,201.00)	(310,333.00)	(438,396.00)	(548,391.00)
32	Cash balance at end of year	<u>(164,201.00)</u>	<u>(310,333.00)</u>	<u>(438,396.00)</u>	<u>(548,391.00)</u>	<u>(647,544.00)</u>

Note: (1) The projected income statement is based on estimates provided by management. Actual results over five year period may vary significantly.

ADDENDUM TO APPLICATION FOR CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY AND FOR APPROVAL OF RATES

Instructions

-
1. These schedules should reflect all revenues, costs, investment, etc. associated with or to be associated with the utility system for which the subject franchise application is being submitted, exclusively.
 2. For purposes of forecasting future expenses, as a simplifying assumption, it may be assumed that increases in such costs due to increases in general price levels, (i.e., inflation) will on average be offset by concurrent rate increases. Thus, no provision(s) for such offsetting changes will need to be made in forecasting costs.
 3. A written detailed narrative explanation of all assumptions underlying the information and data contained in this addendum and five (5) copies of all workpapers developed in completing the addendum are to be filed with the Commission's Chief Clerk concurrent with the filing of the franchise application.
 4. Computations for Statement of Cash Flows (Page 2 of Addendum)
 - (a) Line 2 should agree with Addendum Page 1 - Projected Income Statement, Line 8.
 - (b) Line 3 should agree with Addendum Page 1 - Projected Income Statement, Line 20.
 - (c) Line 4 should agree with Addendum Page 1 - Projected Income Statement, Sum of Line 22 thru Line 25.
 - (d) Line 14 should equal Line 12 plus Line 13.
 - (e) Line 15 should equal Line 5 less Line 14.
 - (f) Line 30 should equal Line 15 less Line 20 plus Line 29.
 - (g) Line 31 should equal the cash balance at the end of the prior year, except for the beginning balance for Year 1, which should be zero.
 - (h) Line 32 should equal Line 30 plus Line 31.



Division of Water Resources

State of North Carolina
Department of Environmental Quality
Division of Water Resources

Flow Tracking for Sewer Extension Applications
(FTSE 10-18)

Entity Requesting Allocation: Pluris Hampstead LLC

Project Name for which flow is being requested: Edens Lane

More than one FTSE may be required for a single project if the owner of the WWTP is not responsible for all pump stations along the route of the proposed wastewater flow.

I. Complete this section only if you are the owner of the wastewater treatment plant.

a. WWTP Facility Name: Pluris, Hampstead LLC

b. WWTP Facility Permit #: WQ0037287

All flows are in MGD

Table with 2 columns: Item description and Value. Items include: c. WWTP facility's permitted flow (0.250), d. Estimated obligated flow not yet tributary to the WWTP (0.035), e. WWTP facility's actual avg. flow (0.100), f. Total flow for this specific request (0.050400), g. Total actual and obligated flows to the facility (0185400), h. Percent of permitted flow used (74%).

II. Complete this section for each pump station you are responsible for along the route of this proposed wastewater flow.

List pump stations located between the project connection point and the WWTP:

Table with 8 columns: Pump Station (Name or Number), Pump Station Permit No., Firm Capacity, * MGD, (A) Design Average Daily Flow** MGD, (B) Approx. Current Avg. Daily Flow, MGD, (C) Obligated, Not Yet Tributary Daily Flow, MGD, (D)=(B+C) Total Current Flow Plus Obligated Flow, (E)=(A-D) Available Capacity***. The table contains three empty rows for data entry.

* The Firm Capacity (design flow) of any pump station is defined as the maximum pumped flow that can be achieved with the largest pump taken out of service.

** Design Average Daily Flow is the firm capacity of the pump station divided by a peaking factor (pf) not less than 2.5, per Section 2.02(A)(4)(c) of the Minimum Design Criteria.

*** A Planning Assessment Addendum shall be attached for each pump station located between the project connection point and the WWTP where the Available Capacity is <= 0.

Downstream Facility Name (Sewer): Pluris Hampstead LLC

Downstream Permit Number: WQCS37324

III. Certification Statement:

I Randy Hoffer, Regional Manager certify to the best of my knowledge that the addition of the volume of wastewater to be permitted in this project has been evaluated along the route to the receiving wastewater treatment facility and that the flow from this project is not anticipated to cause any capacity related sanitary sewer overflows or overburden any downstream pump station en route to the receiving treatment plant under normal circumstances, given the implementation of the planned improvements identified in the planning assessment where applicable. This analysis has been performed in accordance with local established policies and procedures using the best available data. This certification applies to those items listed above in Sections I and II plus all attached planning assessment addendums for which I am the responsible party. Signature of this form certifies that the receiving collection system or treatment works has adequate capacity to transport and treat the proposed new wastewater.

 1/18/21
Signing Official Signature *Date*


Title of Signing Official

PLANNING ASSESSMENT ADDENDUM (PAA)

Submit a planning assessment addendum for each pump station listed in Section II where Available Capacity is \leq 0.

Pump Station (Name or Number):

Given that:

- a. The proportion and amount of Obligated, Not Yet Tributary Daily Flow (C) accounts for _____% and _____MGD of the Available Capacity (E) in Pump Station _____; and that
- b. The rate of activation of this obligated, not yet tributary capacity is currently approximately _____MGD per year; and that
- c. A funded Capital Project that will provide the required planned capacity, namely _____ is in design or under construction with planned completion in _____; and/or
- d. The following applies:

Therefore:

Given reasonably expected conditions and planning information, there is sufficient justification to allow this flow to be permitted, without a significant likelihood of over-allocating capacity in the system infrastructure.

I understand that this does not relieve the collection system owner from complying with G.S. 143-215.67(a) which prohibits the introduction of any waste in excess of the capacity of the waste disposal system.

Signing Official Signature

Date

Instructions for Flow Tracking form (FTSE) and Planning Assessment Addendum (PAA)

Section I

- a. WWTP Facility Name: Enter the name of the WWTP that will receive the wastewater flow.
- b. WWTP Facility Permit #: Enter the NPDES or Non-Discharge number for the WWTP receiving the wastewater flow.
- c. WWTP facility's permitted flow, MGD: From WWTP owner's NPDES or Non-Discharge permit.
- d. Estimated obligated flow not yet tributary to the WWTP, MGD: This includes flows allocated to other construction projects not yet contributing flow to the collection system. Flows allocated through interlocal agreements or other contracts not yet contributing flow to the collection system are also included. For POTWs that implement a pretreatment program, include flows allocated to industrial users who may not be using all of their flow allocation. Please contact your Pretreatment Coordinator for information on industrial flow tributary to your WWTP.

As of January 15, 2008 the POTW should have reviewed flow allocations made over the last two years and reconciled their flow records, to the best of their ability, so it is known how much flow has been obligated and is not yet been made tributary to the WWTP, in accordance with local policies and procedures employed by the reporting entity.

- e. WWTP facility's actual avg. flow, MGD: Previous 12 month average.
- f. Total flow for this specific request, MGD: Enter the requested flow volume.
- g. Total actual and obligated flows to the facility, MGD Equals [d + e + f]
- h. Percent of permitted flow used: Equals [(g / c)*100]

For example:

On January 15 a POTW with a permitted flow of 6.0 MGD, reported to the Regional Office that there is 0.5 MGD of flow that is obligated but not yet tributary. The annual average flow for 2007 is 2.7 MGD. There is a proposed flow expansion of 0.015 MGD.

The first Form FTSE submitted after January 15, 2008 may have numbers like this:

- c. = 6.0 MGD
- d. = 0.5 MGD
- e. = 2.7 MGD
- f. = 0.015 MGD
- g. = 3.215 MGD
- h. = 53.6 %

The next Form FTSE may be updated like this with a proposed flow expansion of 0.102 MGD:

- c. = 6.0 MGD
- d. = 0.515 MGD
- e. = 2.73 MGD
- f. = 0.102 MGD
- g. = 3.349 MGD
- h. = 55.8 %

Each subsequent FTSE form will be updated in the same manner.

Section II

List the pump station name or number and approximate pump station firm capacity, approximate design average daily flow (A) approximate current average daily flow (B), and the obligated, not yet tributary flow through the pump station (C) for each pump station that will be impacted by the proposed sewer extension project. Calculate the total current flow plus obligated flow (D=B+C) and the available capacity (E=A-D). Include the proposed flow for this project with other obligated flows that have been approved for the pump station but are not yet tributary (C).

Firm capacity is the maximum pumped flow that can be achieved with the largest pump out of service as per the Minimum Design Criteria.

Design Average Daily Flow is the firm capacity of the pump station divided by a peaking factor (pf) of not less than 2.5.

If the available capacity (E) for any pump station is ≤ 0 , then prepare a planning assessment for that pump station if the system has future specific plans related to capacity that should be considered in the permitting process.

	(A)	(B)	(C)	(D)=(B+C)	(E)=(A-D)	
Pump Station (Name or Number)	Firm Capacity MGD	Design Average Daily Flow (Firm / pf)	Approx. Current Avg. Daily Flow, MGD	Obligated, Not Yet Tributary Daily Flow, MGD	Total Current Flow Plus Obligated Flow	Available Capacity*
Kaw Creek PS	0.800	0.320	0.252	0.080	0.332	-0.012
Valley Road PS	1.895	0.758	0.472	0.135	0.607	0.151

Planning Assessment Addendum Instructions

Submit a planning assessment addendum for each pump station listed in Section II where available capacity is ≤ 0 .

A planning assessment for Kaw Creek PS (see example data above) may be performed to evaluate whether there is significant likelihood that needed improvements or reductions in obligated flows will be in place prior to activating the flows from the proposed sewer extension project.

If the system decides to accept the flow based on a planning assessment addendum, it is responsible to manage the flow without capacity related sanitary overflows and must take all steps necessary to complete the project or control the rate of flow to prevent sanitary sewer overflows.

The planning assessment may identify a funded project currently in design or construction, or a planned project in the future not yet funded but in a formal plan adopted by the system. The system should carefully weigh the certainty of successful timely project completion for any expansion, flow management diversion or infiltration and inflow elimination projects that are the foundation of a planned solution to capacity tracking and acceptance compliance.

For example:

Given that:

- a. The proportion and amount of obligated, not yet tributary flow accounts for 24 % and 0.080 MGD of the committed flow in Pump Station Kaw Creek; and that
- b. The rate of activation of this obligated, not yet tributary capacity is currently approximately 0.01 MGD per year; and that
- c. A funded capital project that will provide the required planned capacity, namely _____ is in design or under construction with planned completion in _____; and/or
- d. The following applies:

The master plan and ten year capital plan contain recommended scope and funding for a capital project entitled Kaw Creek Pump Station upgrade with funding planned in July 2014. This project is planned to add 0.100 MGD to the firm capacity of the pump station by October 2015. Inclusion of this proposed capital project as a condition of this Flow Tracking/Acceptance for Sewer Extension Permit Application elevates this project's priority for funding and construction to be implemented ahead of the activation of obligated, not yet tributary flows in amounts that exceed the firm pump station capacities identified in Section II above.

Therefore:

Given reasonably expected conditions and planning information, there is sufficient justification to allow this flow to be permitted, without a significant likelihood of over-allocating capacity in the system infrastructure.



15A NCAC 02T .0300 – FAST TRACK SEWER SYSTEM EXTENSION APPLICATION
INSTRUCTIONS FOR FORM: FTA 04-16 & SUPPORTING DOCUMENTATION

This application is for sewer extensions involving gravity sewers, pump stations and force mains, or any combination that has been certified by a professional engineer and the applicant that the project meets the requirements of [15A NCAC 02T](#) and the Division's Minimum Design Criteria and that **plans, specifications and supporting documents have been prepared in accordance with, [15A NCAC 02T](#), [15A NCAC 02T .0300](#), [Division policies](#) and [good engineering practices](#).**

While no upfront engineering design documents are required for submittal, in accordance with 15A NCAC 02T .0305(b), design documents must be prepared prior to submittal of a fast track permit application to the Division. This would include plans, design calculations, and project specifications referenced in [15A NCAC 02T .0305](#) and the applicable minimum design criteria. These documents shall be available upon request by the Division.

Projects that are deemed permitted (do not require a permit from the Division) are explained in [15A NCAC 02T.0303](#).

Projects not eligible for review via the fast track process (must be submitted for full technical review):

- Projects that require an environmental assessment in accordance with 15A NCAC 1C .0100;
- Projects that do not meet any part of the minimum design criteria (MDC) document;
- Projects that involve a variance from the requirements of 15A NCAC 2T;
- Pressure sewer systems utilizing septic tank-effluent pumps (STEPS) or simplex grinder pumps;
- STEP or simplex grinder pumps connecting to pressurized systems (e.g. force mains);
- Vacuum sewer systems.

General – When submitting an application, please use the following instructions as a checklist in order to ensure all required items are submitted. Adherence to these instructions and checking the provided boxes will help produce a quicker review time and reduce the amount of requested additional information. **Failure to submit all required items will necessitate additional processing and review time, and may result in return of the application.** Unless otherwise noted, the Applicant shall submit one original and one copy of the application and supporting documentation.

A. One Original and One Copy of Application and Supporting Documents

- Required unless otherwise noted

B. Cover Letter (Required for All Application Packages):

- List all items included in the application package, as well as a brief description of the requested permitting action.
- Be specific as to the system type, number of homes served, flow allocation required, etc.
- If necessary for clarity, include attachments to the application form.

C. Application Fee (All New and Major Modification Application Packages):

- Submit a check or money order in the amount of \$480.00 dated within 90 days of application submittal.
- Payable to North Carolina Department of Environmental Quality (NCDEQ)

D. Fast Track (Form: FTA 04-16) Application (Required for All Application Packages):

- Submit the completed and appropriately executed application.
- If necessary for clarity or due to space restrictions, attachments to the application may be made.
- If the Applicant Type in Item I.2 is a corporation or company, provide documentation it is registered for business with the [North Carolina Secretary of State](#).
- If the Applicant Type in Item I.2 is a partnership or d/b/a, enclose a copy of the certificate filed with the Register of Deeds in the county of business.
- The Project Name in Item II.1 shall be consistent with the project name on the flow acceptance letters, agreements, etc.
- The Professional Engineer's Certification on Page 5 of the application shall be signed, sealed and dated by a [North Carolina licensed Professional Engineer](#).
- The Applicant's Certification on Page 5 of the application shall be signed in accordance with [15A NCAC 02T .0106\(b\)](#). Per 15A NCAC 02T .0106(c), an alternate person may be designated as the signing official if a delegation letter is provided from a person who meets the criteria in 15A NCAC 02T .0106(b).

E. Flow Tracking/Acceptance Form (Form: FTSE 04-16) (If Applicable):

- Submit the completed and executed FTSE form from the owners of the downstream sewers and treatment facility.
- Multiple forms maybe required where the downstream sewer owner and wastewater treatment facility are different.
- The flow acceptance indicated in form FTSE must not expire prior to permit issuance and must be dated less than one year prior to the application date.
- Submittal of this application and form FTSE indicates that owner has adequate capacity and will not violate [G.S. 143-215.67\(a\)](#).
- Intergovernmental agreements or other contracts will not be accepted in lieu of a project-specific FTSE.

F. Site Maps (All Application Packages):

- Submit an 8.5-inch x 11-inch color copy of a USGS Topographic Map of sufficient scale to identify the entire project area and closest surface waters.
- Location of the project (gravity sewer, pump stations & force main)
- Downstream connection points and permit number (if known) for the receiving sewer
- Include a street level map showing general project area.

G. Existing Permit (All Modification Packages):

- Submit the most recently issued existing permit.
- Provide a list of any items within the permit the Applicant would like the Division to address during the permit modification (i.e., permit description, flow allocation, treatment facility, etc.).

H. Power Reliability Plan (Required if portable reliability option utilized for Pump Station):

- Per [15A NCAC 02T .0305\(h\)\(1\)](#), submit documentation of power reliability for pumping stations.
- This alternative is only available for average daily flows less than 15,000 gallons per day
- It shall be demonstrated to the Division that the portable source is owned or contracted by the applicant and is compatible with the station. The Division will accept a letter signed by the applicant (see 15A NCAC 02T .0106(b)) or proposed contractor, stating that “the portable power generation unit or portable, independently-powered pumping units, associated appurtenances and personnel are available for distribution and operation of this pump station.”
- **If the portable power source or pump is dedicated to multiple pump stations, an evaluation of all the pump stations' storage capacities and the rotation schedule of the portable power source or pump, including travel timeframes, shall be provided in the case of a multiple station power outage. (Required at time of certification)**

I. Certificate of Public Convenience and Necessity (All Application Packages for Privately-Owned Public Utilities):

- Per [15A NCAC 02T .0115\(a\)\(1\)](#) provide the Certificate of Public Convenience and Necessity from the [North Carolina Utilities Commission](#) demonstrating the Applicant is authorized to hold the utility franchise for the area to be served by the sewer extension, or
- Provide a letter from the [North Carolina Utilities Commission's Water and Sewer Division Public Staff](#) stating an application for a franchise has been received and that the service area is contiguous to an existing franchised area or that franchise approval is expected.

J. Operational Agreements (Applications from HOA/POA and Developers for lots to be sold):

- Home/Property Owners' Associations
 - Per [15A NCAC 02T .0115\(c\)](#), submit the properly executed [Operational Agreement \(FORM: HOA\)](#).
 - Per 15A NCAC 02T .0115(c), submit a copy of the Articles of Incorporation, Declarations and By-laws.
- Developers of lots to be sold
 - Per 15A NCAC 02T .0115(b), submit the properly executed [Operational Agreement \(FORM: DEV\)](#).

For more information, visit the Division's collection systems [website](#)

THE COMPLETED APPLICATION PACKAGE INCLUDING ALL SUPPORTING INFORMATION AND MATERIALS, SHOULD BE SENT TO THE APPROPRIATE REGIONAL OFFICE:

REGIONAL OFFICE	ADDRESS	COUNTIES SERVED
<u>Asheville Regional Office Water Quality Section</u>	2090 US Highway 70 Swannanoa, North Carolina 28778 (828) 296-4500 (828) 299-7043 Fax	Avery, Buncombe, Burke, Caldwell, Cherokee, Clay, Graham, Haywood, Henderson, Jackson, Macon, Madison, McDowell, Mitchell, Polk, Rutherford, Swain, Transylvania, Yancey
<u>Fayetteville Regional Office Water Quality Section</u>	225 Green Street Suite 714 Fayetteville, North Carolina 28301-5094 (910) 433-3300 (910) 486-0707 Fax	Anson, Bladen, Cumberland, Harnett, Hoke, Montgomery, Moore, Robeson, Richmond, Sampson, Scotland
<u>Mooresville Regional Office Water Quality Section</u>	610 E. Center Avenue Mooresville, North Carolina 28115 (704) 663-1699 (704) 663-6040 Fax	Alexander, Cabarrus, Catawba, Cleveland, Gaston, Iredell, Lincoln, Mecklenburg, Rowan, Stanly, Union
<u>Raleigh Regional Office Water Quality Section</u>	1628 Mail Service Center Raleigh, North Carolina 27699-1628 (919) 791-4200 (919) 788-7159 Fax	Chatham, Durham, Edgecombe, Franklin, Granville, Halifax, Johnston, Lee, Nash, Northampton, Orange, Person, Vance, Wake, Warren, Wilson
<u>Washington Regional Office Water Quality Section</u>	943 Washington Square Mall Washington, North Carolina 27889 (252) 946-6481 (252) 975-3716 Fax	Beaufort, Bertie, Camden, Chowan, Craven, Currituck, Dare, Gates, Greene, Hertford, Hyde, Jones, Lenoir, Martin, Pamlico, Pasquotank, Perquimans, Pitt, Tyrrell, Washington, Wayne
<u>Wilmington Regional Office Water Quality Section</u>	127 Cardinal Drive Extension Wilmington, North Carolina 28405 (910) 796-7215 (910) 350-2004 Fax	Brunswick, Carteret, Columbus, Duplin, New Hanover, Onslow, Pender
<u>Winston-Salem Regional Office Water Quality Section</u>	450 W. Hanes Mill Road Suite 300 Winston-Salem, North Carolina 27105 (336) 776-9800	Alamance, Alleghany, Ashe, Caswell, Davidson, Davie, Forsyth, Guilford, Rockingham, Randolph, Stokes, Surry, Watauga, Wilkes, Yadkin



Application Number: _____ (to be completed by DWR)

All items must be completed or the application will be returned

I. APPLICANT INFORMATION:

1. Applicant's name: Pluris Hampstead, LLC (company, municipality, HOA, utility, etc.)
2. Applicant type: Individual Corporation General Partnership Privately-Owned Public Utility
 Federal State/County Municipal Other
3. Signature authority's name: Randy Hoffer per 15A NCAC 02T .0106(b)
Title: Regional Manager
4. Applicant's mailing address:
City: Sneads Ferry State: NC Zip: 28460-_____
5. Applicant's contact information:
Phone number: (910) 322-2880 Email Address: rhoffer@plurisusa.com

II. PROJECT INFORMATION:

1. Project name: Edens Lane
2. Application/Project status: Proposed (New Permit) Existing Permit/Project
If a modification, provide the existing permit number: WQ00_____ and issued date: _____
If new construction but part of a master plan, provide the existing permit number: WQ00_____
3. County where project is located: Pender
4. Approximate Coordinates (Decimal Degrees): Latitude: 34.418106° Longitude: -77.639577°
5. Parcel ID (if applicable): 4214-14-4919-0000
(or Parcel ID to closest downstream sewer)

III. CONSULTANT INFORMATION:

1. Professional Engineer: Tim Clinkscales License Number: 28847
Firm: Paramounte Engineering, Inc.
Mailing address: 122 Cinema Drive
City: Wilmington State: NC Zip: 28403-_____
Phone number: (910) 791-6707 Email Address: dfisk@paramounte-eng.com

IV. WASTEWATER TREATMENT FACILITY (WWTF) INFORMATION:

1. Facility Name: Pluris Hampstead, LLC Permit Number: WQ0037287
Owner Name: Pluris Hampstead, LLC

V. RECEIVING DOWNSTREAM SEWER INFORMATION (if different than WWTF):

1. Permit Number(s): WQ0037324 Downstream (Receiving) Sewer Size: 10 inch
System Wide Collection System Permit Number(s) (if applicable): WQCS0037324
Owner Name(s): Pluris Hampstead, LLC

VI. GENERAL REQUIREMENTS

1. If the Applicant is a Privately-Owned Public Utility, has a Certificate of Public Convenience and Necessity been attached?
 Yes No N/A
2. If the Applicant is a Developer of lots to be sold, has a [Developer's Operational Agreement \(FORM: DEV\)](#) been attached?
 Yes No N/A
3. If the Applicant is a [Home/Property Owners' Association](#), has an [Operational Agreement \(FORM: HOA\)](#) been attached?
 Yes No N/A

4. Origin of wastewater: (check all that apply):

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Residential Owned | <input type="checkbox"/> Retail (stores, centers, malls) | <input type="checkbox"/> Car Wash |
| <input type="checkbox"/> Residential Leased | <input type="checkbox"/> Retail with food preparation/service | <input type="checkbox"/> Hotel and/or Motels |
| <input type="checkbox"/> School / preschool / day care | <input type="checkbox"/> Medical / dental / veterinary facilities | <input checked="" type="checkbox"/> Swimming Pool /Clubhouse |
| <input type="checkbox"/> Food and drink facilities | <input type="checkbox"/> Church | <input type="checkbox"/> Swimming Pool/Filter Backwash |
| <input type="checkbox"/> Businesses / offices / factories | <input type="checkbox"/> Nursing Home | <input type="checkbox"/> Other (Explain in Attachment) |

5. Nature of wastewater : 100 % Domestic/Commercial _____ % Commercial
 _____ % Industrial ([See 15A NCAC 02T .0103\(20\)](#))
 ↳ Is there a Pretreatment Program in effect? Yes No

6. Has a flow reduction been approved under [15A NCAC 02T .0114\(f\)](#)? Yes No
 ➤ **If yes, provide a copy of flow reduction approval letter**

7. Summarize wastewater generated by project:

Establishment Type (see 02T.0114(f))	Daily Design Flow ^{a,b}	No. of Units	Flow
Residential, Single Family (3 bedroom)	360 gal/day	128	46,080 GPD
Residential, Single Family (4 bedroom)	480 gal/day	0	0 GPD
Clubhouse	5 gal/seat	28	140 GPD
Swimming Pool	10 gal/person	50	500 GPD
	gal/		GPD
	gal/		GPD
<i>Total</i>			52,120 GPD

- a See [15A NCAC 02T .0114\(b\), \(d\), \(e\)\(1\) and \(e\)\(2\)](#) for caveats to wastewater design flow rates (i.e., minimum flow per dwelling; proposed unknown non-residential development uses; public access facilities located near high public use areas; and residential property located south or east of the Atlantic Intracoastal Waterway to be used as vacation rentals as defined in [G.S. 42A-4](#)).
- b Per 15A NCAC 02T .0114(c), design flow rates for establishments not identified [in table [15A NCAC 02T.0114](#)] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

8. Wastewater generated by project: 52,120 GPD (per [15A NCAC 02T .0114](#))
 ➤ Do not include future flows or previously permitted allocations

If permitted flow is zero, indicate why:

- Pump Station or Gravity Sewer where flow will be permitted in subsequent permits that connect to this line
- Flow has already been allocated in Permit Number: _____
- Rehabilitation or replacement of existing sewer with no new flow expected
- Other (Explain): _____

VII. GRAVITY SEWER DESIGN CRITERIA (If Applicable) - 02T .0305 & MDC (Gravity Sewers):

1. Summarize gravity sewer to be permitted:

Size (inches)	Length (feet)	Material
8	9200	PVC C900 DR-18

- Section II & III of the MDC for Permitting of Gravity Sewers contains information related to design criteria
- Section III contains information related to minimum slopes for gravity sewer(s)
- Oversizing lines to meet minimum slope requirement is not allowed and a violation of the MDC

VIII. PUMP STATION DESIGN CRITERIA (If Applicable) – 02T .0305 & MDC (Pump Stations/Force Mains):

COMPLETE FOR EACH PUMP STATION INCLUDED IN THIS PROJECT

1. Pump station number or name: Edens Lane PS
2. Approximate Coordinates (Decimal Degrees): Latitude: 34.4111° Longitude: -77.63°
3. Design flow of the pump station: 0.05212 millions gallons per day (firm capacity)
4. Operational point(s) of the pump(s): 100 gallons per minute at 198 feet total dynamic head (TDH)
5. Summarize the force main to be permitted (for this Pump Station):

Size (inches)	Length (feet)	Material
4	6555	C-900 PVC
4	185	DR-9 PVC
10	2100	C-900 PVC

6. Power reliability in accordance with 15A NCAC 02T .0305(h)(1):

- Standby power source or pump with automatic activation and telemetry - 15A NCAC 02T .0305(h)(1)(B):
- Required for all pump stations with an average daily flow greater than or equal to 15,000 gallons per day
- Must be permanent to facility

Or if the pump station has an average daily flow less than 15,000 gallons per day:

- Portable power source with manual activation, quick-connection receptacle and telemetry - 15A NCAC 02T .0305(h)(1)(C)

or

- Portable pumping unit with plugged emergency pump connection and telemetry - 15A NCAC 02T .0305(h)(1)(C):

- It shall be demonstrated to the Division that the portable source is owned or contracted by the applicant (draft agreement) and is compatible with the station.
- If the portable power source or pump is dedicated to multiple pump stations, an evaluation of all the pump stations' storage capacities and the rotation schedule of the portable power source or pump, including travel timeframes, shall be provided in the case of a multiple station power outage.

IX. SETBACKS & SEPARATIONS – (02B .0200 & 15A NCAC 02T .0305(f)):

1. Does the project comply with all separations found in [15A NCAC 02T .0305\(f\) & \(g\)](#) Yes No

➤ 15A NCAC 02T.0305(f) contains minimum separations that shall be provided for sewer systems:

Setback Parameter*	Separation Required
Storm sewers and other utilities not listed below (vertical)	24 inches
Water mains (vertical-water over sewer including in benched trenches)	18 inches
Water mains (horizontal)	10 feet
Reclaimed water lines (vertical - reclaimed over sewer)	18 inches
Reclaimed water lines (horizontal - reclaimed over sewer)	2 feet
**Any private or public water supply source, including any wells, WS-I waters of Class I or Class II impounded reservoirs used as a source of drinking water	100 feet
**Waters classified WS (except WS-I or WS-V), B, SA, ORW, HQW, or SB from normal high water (or tide elevation) and wetlands (see item IX.2)	50 feet
**Any other stream, lake, impoundment, or ground water lowering and surface drainage ditches	10 feet
Any building foundation	5 feet
Any basement	10 feet
Top slope of embankment or cuts of 2 feet or more vertical height	10 feet
Drainage systems and interceptor drains	5 feet
Any swimming pools	10 feet
Final earth grade (vertical)	36 inches

- [15A NCAC 02T.0305\(g\)](#) contains alternatives where separations in [02T.0305\(f\)](#) cannot be achieved.
- **Stream classifications can be identified using the Division's [NC Surface Water Classifications webpage](#)
- If noncompliance with [02T.0305\(f\) or \(g\)](#), see Section X of this application

2. Does the project comply with separation requirements for wetlands? (50 feet of separation) Yes No

- See the Division's draft separation requirements for situations where separation cannot be meet
- No variance is required if the alternative design criteria specified is utilized in design and construction
- As built documents should reference the location of areas effected

3. Does the project comply with all setbacks found in the river basin rules per [15A NCAC 02B .0200?](#) Yes No

➤ This would include Trout Buffered Streams per [15A NCAC 2B.0202](#)

4. Does the project comply with an individual 404 Permit or any 401 Certifications? Yes No

- Wetland-related permits shall be requested, obtained, and adhered to for projects that impact wetlands or surface waters
- Information can be obtained from the [401 & Buffer Permitting Branch](#)

5. Does project comply with [15A NCAC 02T.0105\(c\)\(6\)](#) (additional permits/certifications)? Yes No

Per [15A NCAC 02T.0105\(c\)\(6\)](#), directly related environmental permits or certification applications are being prepared, have been applied for, or have been obtained. Issuance of this permit is contingent on issuance of dependent permits (erosion and sedimentation control plans, stormwater management plans, etc.).

6. Does this project include any sewer collection lines that are deemed "high-priority?"

Per [15A NCAC 02T.0402](#), "high-priority sewer" means "any aerial sewer, sewer contacting surface waters, siphon, or sewer positioned parallel to streambanks that is subject to erosion that undermines or deteriorates the sewer.

Yes No

➤ If yes, include an attachment with details for each line, including type (aerial line, size, material, and location).

High priority lines shall be inspected by the permittee or its representative at least once every six-months and inspections documented per 15A NCAC 02T.0403(a)(5) or the permittee's individual System-Wide Collection permit.

X. CERTIFICATIONS:

- 1. Does the submitted system comply with [15A NCAC 02T](#), the [Minimum Design Criteria for the Permitting of Pump Stations and Force Mains \(latest version\)](#), and the [Gravity Sewer Minimum Design Criteria \(latest version\)](#) as applicable?

Yes No

If No, complete and submit the Variance/Alternative Design Request application (VADC 10-14) and supporting documents for review. Approval of the request is required prior to submittal of the Fast Track Application and supporting documents.

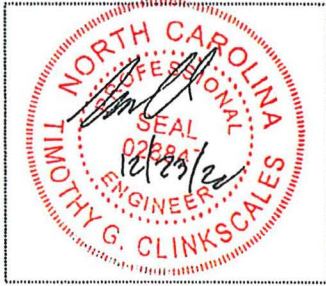
- 2. Professional Engineer's Certification:

I, Tim Clinkscale attest that this application for
 (Professional Engineer's name from Application Item III.1.)

has been reviewed by me and is accurate, complete and consistent with the information supplied in the plans, specifications, engineering calculations, and all other supporting documentation to the best of my knowledge. I further attest that to the best of my knowledge the proposed design has been prepared in accordance with the applicable regulations, Gravity Sewer Minimum Design Criteria for Gravity Sewers (latest version), and the Minimum Design Criteria for the Fast-Track Permitting of Pump Stations and Force Mains (latest version). Although other professionals may have developed certain portions of this submittal package, inclusion of these materials under my signature and seal signifies that I have reviewed this material and have judged it to be consistent with the proposed design.

NOTE – In accordance with General Statutes 143-215.6A and 143-215.6B, any person who knowingly makes any false statement, representation, or certification in any application package shall be guilty of a Class 2 misdemeanor, which may include a fine not to exceed \$10,000, as well as civil penalties up to \$25,000 per violation.

North Carolina Professional Engineer's seal, signature, and date:



- 3. Applicant's Certification per 15A NCAC 02T .0106(b):

I, Frankie Hattie Regional Manager attest that this application for
 (Signature Authority's name & title from Application Item I.3.)

has been reviewed by me and is accurate and complete to the best of my knowledge. I understand that if all required parts of this application are not completed and that if all required supporting documentation and attachments are not included, this application package is subject to being returned as incomplete. I understand that any discharge of wastewater from this non-discharge system to surface waters or the land will result in an immediate enforcement action that may include civil penalties, injunctive relief, and/or criminal prosecution. I will make no claim against the Division of Water Resources should a condition of this permit be violated. I also understand that if all required parts of this application package are not completed and that if all required supporting information and attachments are not included, this application package will be returned to me as incomplete.

NOTE – In accordance with General Statutes [143-215.6A](#) and [143-215.6B](#), any person who knowingly makes any false statement, representation, or certification in any application package shall be guilty of a Class 2 misdemeanor, which may include a fine not to exceed \$10,000 as well as civil penalties up to \$25,000 per violation.

Signature: [Signature]

Date: 1/14/24



AGREEMENT FOR SANITARY SEWER SERVICE
EDENS LANE, DEVELOPMENT
HAMPSTEAD, NORTH CAROLINA

This Agreement is entered into this 24 day of November 2020, by and between Edens Lane, LLC with local offices at 60 Gregory Road, Suit 1, Bellville, NC 28451 (hereinafter referred to as "Developer"), and Pluris Hampstead, LLC, with local offices at 1095 Hwy 210, Sneads Ferry NC 28460 (hereinafter referred to as "Utility").

WITNESETH

WHEREAS, Developer is the owner of or is duly authorized to act on behalf of the owners of certain real estate in Pender County, North Carolina known as Edens Lane LLC, hereinafter referred to as the "Development", shown in Exhibit A attached and,

WHEREAS, Developer plans to develop a residential subdivision comprised of One Hundred and Thirty Eight, (138) single-family residences with an amenity center and pool for a combined total of One Hundred and Forty (140) SFE's located off Highway 17 North, near the intersection with Edens Lane, in Hampstead, North Carolina. The Development requires a maximum of Fifty Thousand Four Hundred (50,400) gallons per day of sanitary sewer service capacity, and

WHEREAS, Utility is engaged in the business of furnishing sanitary sewer service to the public as a public utility in the Hampstead area of Pender County, which service territory will be applied for in accordance with the requirements of the North Carolina Utilities Commission ("NCUC"), and

WHEREAS, Developer desires Utility to provide sanitary sewer utility service within the Development and Utility desires to provide sanitary sewer utility service to the Property according to the terms and conditions of this Agreement.

NOW THEREFORE, in consideration of the mutual covenants as hereinafter set forth, the parties hereto agree as follows:

Article I
Representations and Warranties of Developer

Developer represents and warrants:

1. That Developer is the owner of or is duly authorized to act on behalf of the owners of the Development, and;
2. That Developer will cooperate fully with the Utility in any and all applications or petitions to public authorities deemed necessary or desirable by Utility in connection with the construction and installation of the sanitary sewer systems contemplated by this Agreement. Utility will cooperate with Developer, at Developer's expense, in any applications to North Carolina Department of Environmental Quality ("NCDEQ") for permits to construct wastewater facilities.
3. That Developer will convey to the Utility or provide by recorded subdivision plats such easements or rights of way as may be reasonably necessary for the Utility's performance of its obligations under this Agreement. Any such plats, conveyances or licenses will be in a form satisfactory to Utility's legal counsel and shall be recorded.

4. That Developer will convey to the Utility or otherwise vest in the Utility such right, title and interest in and to such real estate as may be reasonably necessary to permit the Utility to provide utility service and otherwise carry out the terms and conditions of this Agreement.
5. That all Facilities (as defined hereafter) previously or to be installed by Developer to serve the Development are in accordance with all applicable standards, requirements, rules and regulations of all State of North Carolina agencies and county and municipal jurisdictions within which the Development is situated, are suitable for the uses to be made thereof, and meet the requirements of Article II below.

Article II

Obligations and Construction of Facilities by Developer

1. Developer shall construct and install all necessary sanitary sewer collection facilities, including but not limited to collection mains, service lines with valve disconnect/clean out, lift stations, stand-by power generators, manholes, and all other facilities as are reasonably required to provide adequate sanitary sewer utility service (in accordance with all applicable governmental standards) to all customers in the Development. Subject to Section 2 below, Developer shall also construct a reuse water return line and facilities on the project site to dispose of ground water in a volume commensurate with the Development's water usage. Developer shall interconnect its reuse water return line to an existing third-party's surplus groundwater impoundment ("SGI"). The SGI stores surplus groundwater resulting from flow of underground groundwater from the Utility's high rate infiltration basins situated on Utility Property. The SGI will be equipped with a clear well whereby Developer may interconnect its reuse water line. For purposes of this Agreement, the facilities described in this paragraph collectively shall be referred to as the "Facilities."
2. As an alternative to Developer constructing the reuse water return line required in Article II, Section 1, Developer may, at its own expense, present to Utility an alternative plan to have its reuse water returned to a property other than Developer's through an agreement with a third-party willing to dispose of Developer's reuse water. Developer shall present the plan to Utility for acceptance by Utility and further agrees that acceptance by Utility is at Utility's sole discretion. Developer shall be responsible for paying directly to the third-party any fee required by its agreement regarding reuse water with such third-party.
3. Developer shall make timely and compliant application to NCDEQ for all necessary permits and approvals for the construction of the Facilities, force main and reuse water return line. Developer shall use commercially reasonable efforts to immediately commence construction of the Facilities upon approval to construct by all regulatory entities or agencies, including, but not limited to, NCDEQ. Any revisions to the Facilities shall be subject to the mutual, reasonable agreement of Developer and Utility.
4. All materials used by the Developer for the Facilities shall be new, shall comply with all NCDEQ and Utility specifications and suitable for the uses made thereof.
5. Developer guarantees all construction, materials, workmanship, and the trouble-free operation of the Facilities for twelve months after completion of each phase or section of development within the Development.
6. All plans, specifications and construction of the Facilities shall be in accordance with applicable standards, requirements, rules and regulations of all agencies of the State of North Carolina and the county or municipal jurisdiction within which the Development is situated, and construction subsequent to this Agreement shall have received the prior written approval of Utility before construction is begun, which approval shall not be unreasonably withheld or delayed.
7. Developer shall save and hold Utility harmless from and against all suits or claims that may be based upon any injury to any person or property that may occur in the course of the construction of the Facilities by Developer or by anyone acting on Developer's behalf, or under Developer's supervision or control, including but not limited to claims made by employees of Developer, and Developer shall, at its own cost and expense, pay all costs and other expenses arising therefrom, or incurred in connection therewith, including Utility's reasonable attorneys' fees.

8. Upon written acceptance of the Facilities by Utility and Interconnection with Utility's existing wastewater systems, all of the Facilities installed by Developer pursuant to this Agreement shall become the property of Utility. Developer shall execute all documents of conveyance, licenses and any other documents reasonably requested by Utility as necessary or desirable in its opinion to ensure its ownership of, ready access to, and operation and maintenance of the Facilities. Developer shall furnish Utility with lien waivers in a form reasonably satisfactory to Utility's counsel from Developer and from all suppliers, subcontractors and others who furnished any labor, equipment, materials, rentals, or who performed any services in connection with Facilities construction in or relating to the Development. And after final certification of the interconnection the Developer will be reimbursed up to but not more than One Hundred Forty Thousand (\$140,000) dollars.
9. The Tax Cuts and Jobs Act of 2017 ("Act") requires all utilities to collect taxes on all contributions in aid of construction ("CIAC") received by a utility after January 3, 2018. All Facilities and property contributed to the Utility, as well as connection fees paid to the Utility by Developer are CIAC. As required by the rules of the NCUC, Developer shall pay and Utility shall collect from Developer, the full amount of the income tax to be paid by Utility as a result of its receipt of CIAC from Developer (the "tax gross-up"), on all contributions in aid of construction made to Utility by Developer, such that Utility will be held harmless from the income tax consequences of its receipt of all CIAC contributed to it by Developer, as required by the NCUC. A detailed description of the tax amount due on CIAC is provided in Article IV, Paragraph 2.
10. Developer agrees to provide to Utility documentary evidence, in a form reasonably satisfactory to Utility, sufficient to establish the original cost of the Facilities. Utility shall have, at all times, all right, title and interest in and to the Facilities.
11. Developer shall, prior to the transfer of the Facilities to Utility, grant permanent, assignable, non-exclusive easements satisfactory to Utility, authorizing Utility to own, operate and maintain the Facilities and providing reasonably adequate rights of access and working space for such purposes.
12. Developer shall, upon transfer to Utility of the Facilities, provide to Utility operating manuals, permits, as-built drawings, and all other information reasonably required to operate, maintain, and repair the Facilities. Developer understands that any lot or service requiring a residential pump station shall meet additional requirements for sanitary sewer service. The residential pump stations and associated pressure pipe (hereinafter referred to as "Pressure Pump Facilities") within boundaries of any lot shall be installed by the Developer or property owner. Utility requires that an ACKNOWLEDGEMENT AND AGREEMENT REGARDING SEWER SERVICE ("Acknowledgement and Agreement") be executed for each lot or service requiring Pressure Pump Facilities and that this Acknowledgment and Agreement be recorded in the applicable County Register of Deeds office to run with the lot or property. This is a condition of service for any such lot or service.

Article III
NCDEQ Approval

Developer and Utility acknowledge that this Agreement is contingent upon approval by NCDEQ for the flow from each connection in the Property to be served by the Utility's existing wastewater treatment plant.

Article IV
Capacity Fees and CIAC Taxes

1. The residential subdivision will be comprised of one hundred thirty eight (138) SFEs, an amenity center and pool for a total of 140 SFEs for a balance due of Two Hundred Twenty-Four Thousand (\$224,000) dollars. The balance is calculated by applying NCDEQ single-family residential equivalent ("SFE") flowrate of up to 360 gallons per day ("gpd") for an SFE. The NCUC authorized tariff for a SFE of \$3,200. The total amount of \$448,000 is calculated as follows:

$$(140 \text{ connections} \times \$3,200) = \$448,000$$

The \$448,000 shall be paid over two equal installments in accordance with the following schedule:

- \$224,000 due upon execution of this Agreement
 - \$224,000 due on or before November 1, 2021
2. In addition to capacity fees in paragraph 1. above, the Tax Cuts and Jobs Act of 2017 ("Act") requires all utilities to collect taxes on all contributions in aid of construction ("CIAC") received by a utility after January 3, 2018. All Facilities and property contributed to the Utility, as well as connection fees paid to the Utility by Developer are CIAC. As required by the rules of the NCUC, Developer shall pay and Utility shall collect from Developer, the full amount of the income tax to be paid by Utility as a result of its receipt of CIAC from Developer (the "tax gross-up"), on all contributions in aid of construction made to Utility by Developer, such that Utility will be held harmless from the income tax consequences of its receipt of all CIAC contributed to it by Developer, as required by the NCUC. Utility is required by law to collect the full income tax gross-up on all CIAC it receives from Developer and the Utility uses the NCUC Public Staff amount of 29.65% or \$949 (rounded to the nearest dollar) for each capacity fee of \$3,200. The total CIAC tax on the 140 connections is calculated as 140 x \$949 = \$132,860. The CIAC tax amount due with each of the capacity fee payment, is \$66,430.
 3. Under its Agreement with the developer of Wyndwater, Utility is obligated to collect a fee, up to a capped amount, from third-parties such as Developer who find it economically advantageous to connect with the Utility through the Wyndwater force main, rather than building their own interconnection. Therefore, upon execution of this Agreement, Developer shall also render to Utility a non-refundable fee of Two hundred eighteen thousand six hundred ninety-five dollars (\$218,695) for its development of 140 SFEs (138 lots plus 2 SFEs for the amenity center and pool), which Utility will remit to the Wyndwater developer. This payment allows prorated recovery of a portion of Wyndwater developer's cost of constructing the Wyndwater force main and reduces the cost of Developer for connecting to Utility.
 4. Upon installation of the Facilities, Utility agrees to supply all customers within the Property with adequate and customary sanitary sewer utility service, not to exceed 360 gpd per three (3) bedroom single family equivalent ("SFE") residential dwelling being served and to operate, maintain and repair all Facilities as indicated herein, after acceptance of the Facilities by Utility and issuance of operational approvals by all regulatory authorities.
 5. Sanitary sewer utility usage charges and tap fees shall be rendered by Utility in accordance with Utility's then-current schedule of rates, rules and regulations and conditions of service on file with the NCUC.

Article V
North Carolina Utilities Commission Approval

1. Utility is required to file a "notification of intention to begin operations in area contiguous to present service area" to the NCUC, as routinely required previously, and does not contemplate any material issues in the filing of the notice.
2. In addition to the application requesting that the Development be made part of its service area, the Utility is required to provide the NCUC with a copy of this Agreement for review by the NCUC.
3. Although not expected, in the event the NCUC materially were to alter this Agreement in a manner deemed unreasonable by Utility, or denies the service area request, Utility shall have the right in its sole discretion to terminate the Agreement. In that event, the reservation of capacity fees will be fully refunded to Developer within ten days following final notice of such action from the NCUC.

Article VI
General

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- \$224,000 due upon execution of this Agreement
- \$224,000 due on or before November 1, 2021

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3. Although not expected, in the event the NCUC materially were to alter this Agreement in a manner deemed unreasonable by Utility, or denies the service area request, Utility shall have the right in its sole discretion to terminate the Agreement. In that event, the reservation of capacity fees will be fully refunded to Developer within ten days following final notice of such action from the NCUC.

Article VI
General

1. This Agreement will be performed in the State of North Carolina and shall be governed by the laws of the State of North Carolina.
2. Except as provided in this Agreement, neither party to this Agreement shall be liable to the other for failure, default or delay in performing any of its obligations hereunder, if such failure, default or delay is caused by: strikes or other labor problems; forces of nature; hurricanes, unavoidable accident, fire, acts of the public enemy, acts of terrorism, interference by civil authorities; acts or failure to act; decisions or orders or regulations of any governmental or military body or agency, office or commission; delays in receipt of materials; or any other cause, whether of similar or dissimilar nature, not within the control of the party affected and which, by the exercise of due diligence such party is unable to prevent or overcome, except as otherwise provided for herein. Should any of the foregoing events occur, the parties hereto agree to proceed with diligence to do what is reasonable and necessary so that each party may perform its obligations under this Agreement.
3. The failure of either party hereto to enforce any of the provisions of this Agreement, or the waiver thereof in any instance by either party shall not be construed as a general waiver or relinquishment on its part of any such provisions, but the same shall, nevertheless, be and remain in full force and effect.
4. The representations, warranties and agreements contained herein shall survive, and continue in effect, after acceptance of the Facilities and throughout the time that Utility provides service to the Property. Developer (and its successors and assigns) agrees to indemnify Utility (and its successors and assigns) and hold it and them harmless against any loss, damage, liability, expense or cost of Utility, accruing or resulting from any misrepresentation or breach of any representation, warranty or agreement on the part of Developer under this Agreement, or from any misrepresentation in or material omission from any certificate or other document furnished or to be furnished to Utility by Developer. Utility (and its successors and assigns) agrees to indemnify Developer (and its successors and assigns), and hold it and them harmless against any loss, damage, liability, expense or cost of Developer, accruing or resulting from any misrepresentation or breach of any representation, warranty or agreement on the part of Utility under this Agreement, or from any misrepresentation in or material omission from any certificate or other document furnished or to be furnished to Developer by Utility.
5. Neither Developer nor any entity or individual affiliated with Developer has executed any agreement with any lot purchaser in the Development, or any other parties, or made any representations to any such purchasers or other parties whereunder such purchaser or other parties have acquired any interest in the Facilities either installed or to be installed under this Agreement.
6. This Agreement sets forth the complete understanding between Developer and Utility, and this Agreement supersedes and prior written or oral understanding between these parties. Any amendments hereto to be effective must be made in writing.
7. Notices, correspondence, and invoicing required hereunder shall be given to Developer and to Utility at the following addresses, or at any other addresses designated in writing by either party subsequent to the date hereof:

If to Utility:

Pluris Hampstead, LLC
Randy Hoffer
Regional Manager
1095 Hwy 210
Sneads Ferry NC 28460

If to Developer:

Edens Lane, LLC
D I Logan
60 Gregory Road, Suite 1
Bellville, NC 28541

Delivery when made by registered or certified mail shall be deemed complete upon mailing.

This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors and assigns. The Exhibits to this Agreement are a part hereof and are hereby incorporated in full by reference.

Signatures

IN WITNESS WHEREOF, the parties hereto have set their hands and seals the day and year above first written.

Pluris Hampstead, LLC

Edens Lane, LLC

By 
Randy Hoffer
Regional Manager

By 
D I Logan
Registered Agent

Date 11-24-2020

Date 11-24-20

Witness: Andrea Keen

Witness: Mary Sant

Print Name Andrea Keen

Print Name Mary Santos

EXHIBIT A
Description of Property

Edens Lane LLC

PLU001

Pluris Hampstead, LLC

DATE	INVOICE NO	DESCRIPTION	INVOICE AMOUNT	DEDUCTION	BALANCE
11-23-20	11232020	Edens Lane - Plur	224000.00	.00	224000.00
<p>Capacity fees 70-3 bedroom homes</p>					
CHECK DATE	11-23-20	CHECK NUMBER	19002	TOTAL >	224000.00
				.00	224000.00

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

WARNING: THIS CHECK IS PROTECTED BY SPECIAL SECURITY FEATURES

Edens Lane LLC
60 Gregory Rd NE
Suite 1
Belville NC 28451
910-452-7175

Coming Credit Union

TAG (TM) CONTROLLER A88F27A8-51D191-05A0-01 11/23/2020 13 21 23 19002 224000.00

50-8035/2223

19002

DATE 11/23/2020

Pay:*****Two hundred twenty-four thousand dollars and no cents

\$ ****224,000.00

TO
THE
ORDER
OF

Pluris Hampstead, LLC
1095 NC Hwy 210
Sneads Ferry, NC 28460



Patricia S. Lenson

SECURITY FEATURES INCLUDE FOIL HOLOGRAM - HEAT SENSITIVE ICON - MICROPRINT - MULTI-COLOR BACKGROUND

⑈000019002⑈ ⑆222380359⑆95700311029590⑈

Edens Lane LLC

PLU001

Pluris Hampstead, LLC

DATE	INVOICE NO	DESCRIPTION	INVOICE AMOUNT	DEDUCTION	BALANCE				
11-23-20	11.23.2020	Edens Lane - Plur	66430.00	.00	66430.00				
<i>CIAC Tax 70 - 3 bedroom homes</i>									
CHECK DATE	11-23-20	CHECK NUMBER	19003	TOTAL >	66430.00	DEDUCTION	.00	BALANCE	66430.00

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

WARNING - THIS CHECK IS PROTECTED BY SPECIAL SECURITY FEATURES

FAC (TM) CONTROLLER ABB587AB510191 CRAS.21 11/23/2020 13:30:17 19003 66430.00

Edens Lane LLC
60 Gregory Rd NE
Suite 1
Belville NC 28451
910-452-7175

Corning Credit Union

50-8035/2223

19003

DATE 11/23/2020

Pay:*****Sixty-six thousand four hundred thirty dollars and no cents

\$ ****66,430.00

TO
THE
ORDER
OF

Pluris Hampstead, LLC
1095 NC Hwy 210
Sneads Ferry, NC 28460



Patricia S. Lenson

SECURITY FEATURES INCLUDE FOIL HOLOGRAM • HEAT SENSITIVE ICON • MICROPRINT • MULTI-COLOR BACKGROUND

⑈000019003⑈ ⑆222380359⑆95700311029590⑈

November 30, 2020

Edens Lane, LLC

Check #s:	19005	\$218,000.00
	19006	<u>\$695.00</u>
	TOTAL	\$218,695.00

This is payment per the developer reimbursement agreement with Signature Top Sail, NC Ltd – Wyndwater Development in Hampstead, NC.

Please forward reimbursement to:

Signature Top Sail NC, Ltd.
Attn: Jennifer Evans
9337B Katy Freeway #377
Houston, TX 77024

Edens Lane LLC

PLU001

Pluris Hampstead, LLC

DATE	INVOICE NO	DESCRIPTION	INVOICE AMOUNT	DEDUCTION	BALANCE		
11-24-20	11242020	Edens Lane - Plur	218000.00	.00	218000.00		
CHECK DATE	11-24-20	CHECK NUMBER	19005	TOTAL >	218000.00	.00	218000.00

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

WARNING: THIS CHECK IS PROTECTED BY SPECIAL SECURITY FEATURES

Edens Lane LLC
60 Gregory Rd NE
Suite 1
Belville NC 28451
910-452-7175

Corning Credit Union
50-8035/2223
19005

Memo: Pollack

DATE 11/24/2020

Pay: *****Two hundred eighteen thousand dollars and no cents \$ ****218,000.00

TO THE ORDER OF
Pluris Hampstead, LLC
1095 NC Hwy 210
Sneads Ferry, NC 28460

Patricia S. Landon

SECURITY FEATURES INCLUDE FOIL HOLOGRAM HEAT SENSITIVE INK MICROPRINT MULT-COLOR BACKGROUND

⑈000019005⑈ ⑆222380359⑆95700311029590⑈

Edens Lane LLC

PLU001

Pluris Hampstead, LLC

DATE	INVOICE NO	DESCRIPTION	INVOICE AMOUNT	DEDUCTION	BALANCE		
11-25-20	111520	Edens Lane - Plur	695.00	.00	695.00		
CHECK DATE	11-25-20	CHECK NUMBER	19006	TOTAL >	695.00	.00	695.00

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

WARNING: THIS CHECK IS PROTECTED BY SPECIAL SECURITY FEATURES

TAC (TM) CONTROLLER ABBF974B-61D14F1-06A0-2110592202 DF 0217 19006 095.00

Edens Lane LLC
60 Gregory Rd NE
Suite 1
Belville NC 28451
910-452-7175

Memo: Billack

Corning Credit Union

50-8035/2223

19006

DATE 11/25/2020

Pay:*****Six hundred ninety-five dollars and no cents

\$ ****695.00

TO
THE
ORDER
OF

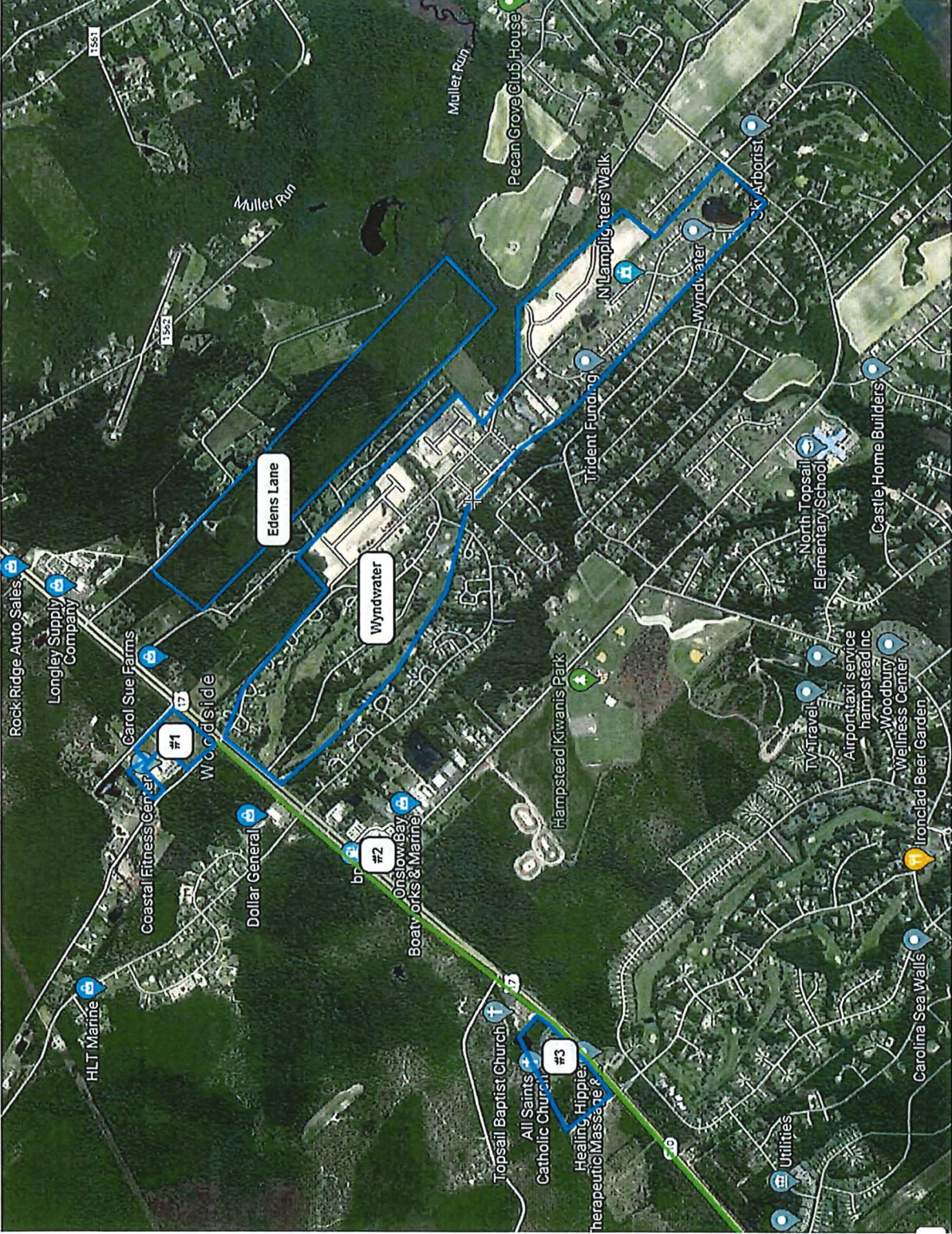
Pluris Hampstead, LLC
1095 NC Hwy 210
Sneads Ferry, NC 28460



Patricia B. Lenson

SECURITY FEATURES INCLUDE FOIL HOLOGRAM HEAT SENSITIVE ICON MICROPRINT MULTI-COLOR BACKGROUND

⑈000019006⑈ ⑆222380359⑆95700311029590⑈



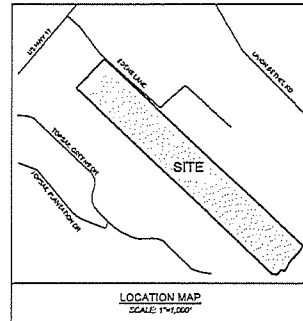
EDENS LANE

PENDER COUNTY, NORTH CAROLINA

UTILITIES SUBMITTAL

DECEMBER 2020

APPLICANT:
LOGAN DEVELOPERS, INC.
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
 1-800-632-4949

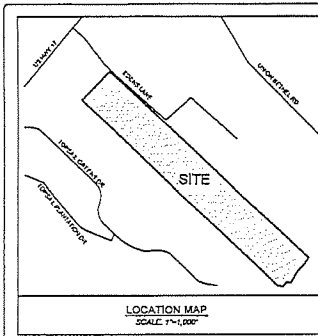
CONTACT THESE UTILITIES

PENDER COUNTY PLANNING AND COMMUNITY DEVELOPMENT ATTN: DARRY EDWARDS POC: 910-258-1724	PENDER COUNTY UTILITIES (WATER & SEWER) ATTN: EDWIN FEEZ POC: 910-258-0217
PIEDMONT NATURAL GAS ATTN: EARL PADGETT POC: 910-252-2227	DUKE ENERGY ATTN: EDWIN LEATHERWOOD POC: 910-462-0354
EMERGENCY DIAL 011 POLICE - FIRE - RESCUE	BELL SOUTH ATTN: STEVE SAWALUT POC: 910-341-6214
	TIME WARNER CABLE POC: 910-423-4628

EDENS LANE		
PROJECT # 20178, PE	DECEMBER 23, 2020	
SHEET INDEX		
SHEET NUMBER	SHEET TITLE	
C-0.0	COVER SHEET	
C-1.0	GENERAL NOTES	
C-5.0 - C-5.10	PLAN & PROFILES	
C-6.7 - C-6.11	DETAILS	
PROJECT CONSULTANTS		
APPLICANT LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELVILLE, NC 28451	ENGINEER/PLANNER/LANDSCAPE ARCHITECT PARAMOUNT ENGINEERING, INC. 122 CEDINA DRIVE WILMINGTON, NC 28403 CIVIL: TIM CLINEGAL, PE (#167814297) LANDSCAPE ARCHITECT: ALISON ENGBERGSON, PLA (#167814297)	SURVEYOR PARAMOUNT ENGINEERING, INC. 122 CEDINA DRIVE WILMINGTON, NC 28403 CHIEF CAD/CAM, PLS (#167814297)
PREPARED BY: PARAMOUNT ENGINEERING, INC. 122 Cedina Drive, Wilmington, North Carolina 28403 (910) 791-6707 (fax) (910) 791-6700 (R) NC License # C-2546		

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

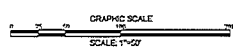
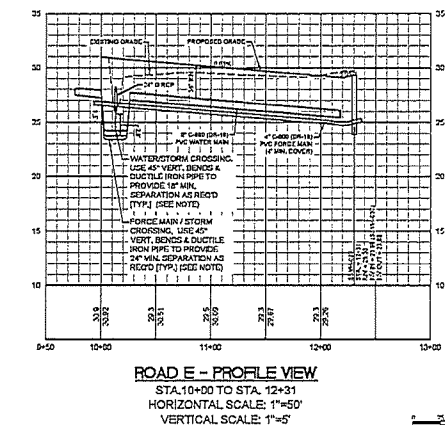
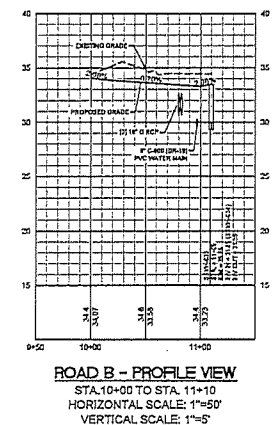
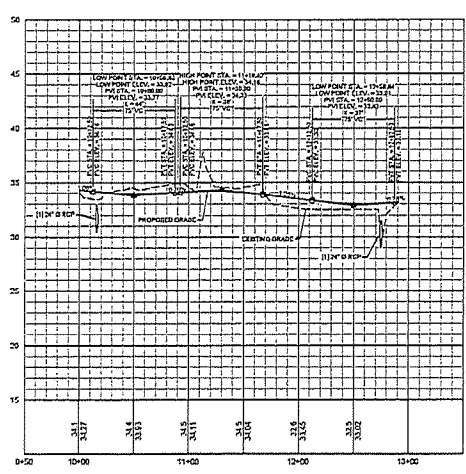
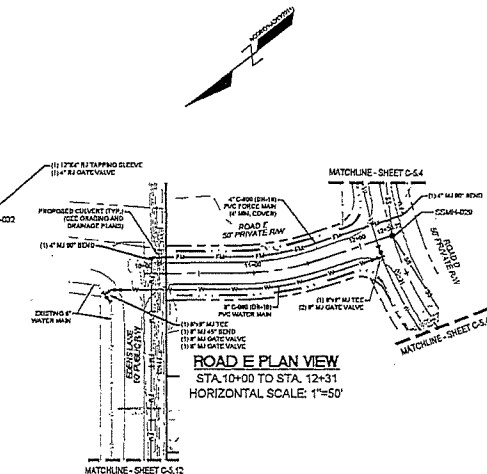
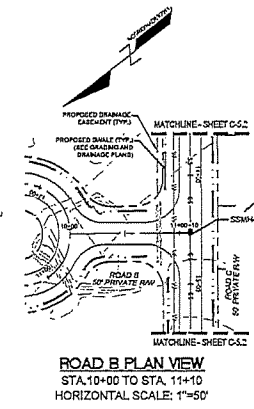
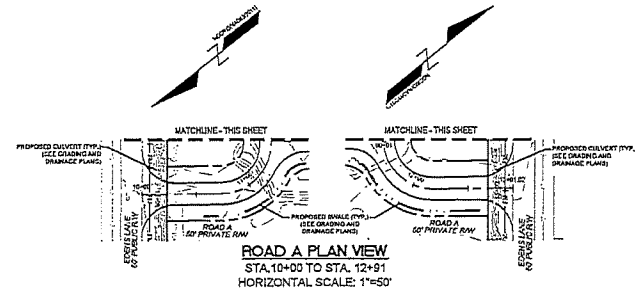
OFFICIAL COPY
 Apr 01 2024



SERVICE NOTE:
 1. CONTRACTOR SHALL INSTALL ONE (1) 1-INCH WATER SERVICE PER LOT AND ONE (1) 4-INCH SEWER SERVICE PER LOT.

- UTILITY NOTES:** (N.C.A.C. 15A.02T.0305 / 115A.180.0905)
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 12 FEET BETWEEN SANITARY SEWERS AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 12 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 5. WHERE VERTICAL CLEARANCE IS LESS THAN 12 FEET BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 12 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 6. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

- GRAVITY SEWER NOTES:**
1. ALL MANHOLES LOCATED WITHIN 40' OF WETLANDS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 1.1. SEWERS SHALL BE EXTERNALLY TUNNELED SEWERS WITH WATERPROOF MATERIAL.
 1.2. ALL MANHOLE INTERIORS SHALL BE FULLY LINED WITH WATERPROOF COATING.
 1.3. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C541 STANDARD TEST METHOD FOR CONCRETE COVER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST PRIOR TO BACKFILL.
 2. ALL SEWER PIPE MATERIALS, INSTALLATION, AND TESTING SHALL MEET WATER MAIN STANDARDS WHEN LOCATED WITHIN 40' OF WETLANDS.
- WATER MAIN NOTES:**
1. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
 2. ALL VALVES, HYDRANTS, OR OTHER WATER MAIN APPURTENANCES SHALL BE INSTALLED IN THE GRADE.
- FORCE MAIN NOTES:**
1. ALL FORCE MAINS SHALL BE INSTALLED A MINIMUM OF 2' FROM EDGE OF PAVEMENT.
 2. ALL VALVES OR OTHER FORCE MAIN APPURTENANCES SHALL BE INSTALLED IN THE DYAL.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>PARAMOUNT ENGINEERS, INC. 122 Grand Drive Wilmington, North Carolina 28403 (919) 791-1100 N.C. License # E.C. 2846</p>	<p>LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELVILLE, NC 28645</p>
<p>PROJECT STATUS: PRELIMINARY PRELIMINARY PRELIMINARY</p>	<p>PLAN & PROFILE ROADS A, B, & E EDENS LANE TOPSAIL TOWNSHIP PENDER COUNTY, NORTH CAROLINA</p>
<p>DRAWN BY: GEMARKE CHECKED BY: J. W. WILSON DATE: 11/28/2024</p>	<p>SCALE: 1"=50'</p>
<p>PROJECT NO.: 201741-P</p>	<p>C-5.1</p>

REVISIONS	

LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELLEVILLE, NC 28451

PARAMOUNT ENGINEERS, INC.
122 Carolina Drive
Wilmington, NC 28403
(919) 763-0100 (FAX)
(919) 763-0100 (P)

PLAN & PROFILE
ROAD C
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS
DESIGNED
PERMITTED
CONTRACT
CONSTRUCTION



C-5.3
DATE: 08/08/2014

UTILITY NOTES: INCHES UNLESS OTHERWISE NOTED.

1. WATER MAINS SHALL BE LAYED OUT TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 10 FEET FROM SERVICES. IF CONDITIONS EXIST SUCH THAT SEPARATION CANNOT BE MAINTAINED, THE WATER MAIN SHALL BE LAYED AT LEAST 18 INCHES ABOVE THE TOP OF THE SERVICE, EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A SLOPE OF UNDISTURBED EARTH.
2. WHERE CROSSING A WATER MAIN OVER A SERVICE, THE WATER MAIN SHALL BE LAD AT LEAST 18 INCHES ABOVE THE SERVICE. IF CONDITIONS EXIST SUCH THAT THE SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH THE SERVICE MAIN UNDER THE WATER MAIN. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
3. CROSSING A WATER MAIN UNDER A SERVICE, WHEREVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SERVICE, BOTH THE WATER MAIN AND SERVICE SHALL BE CONSTRUCTED OF FERROUS METALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
4. WHERE VERTICAL CLEARANCE IS LESS THAN 10 FEET BETWEEN SANITARY SEWER AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
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6. A MINIMUM VERTICAL CLEARANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

CRANTRY SEWER NOTES:

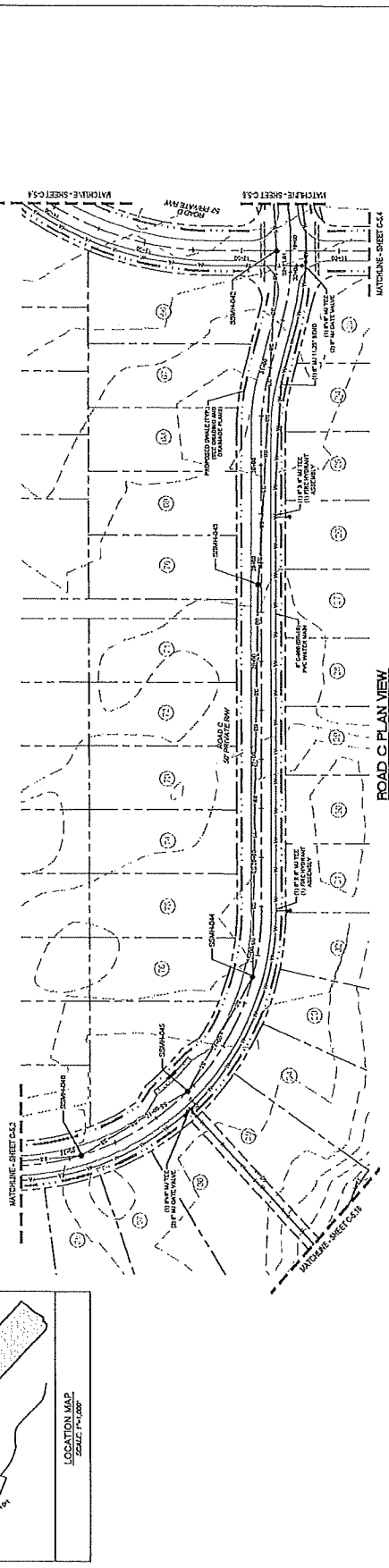
1. ALL MANHOLES LOCATED WITHIN 10 FEET OF ANY UTILITY SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
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WATER MAIN NOTES:

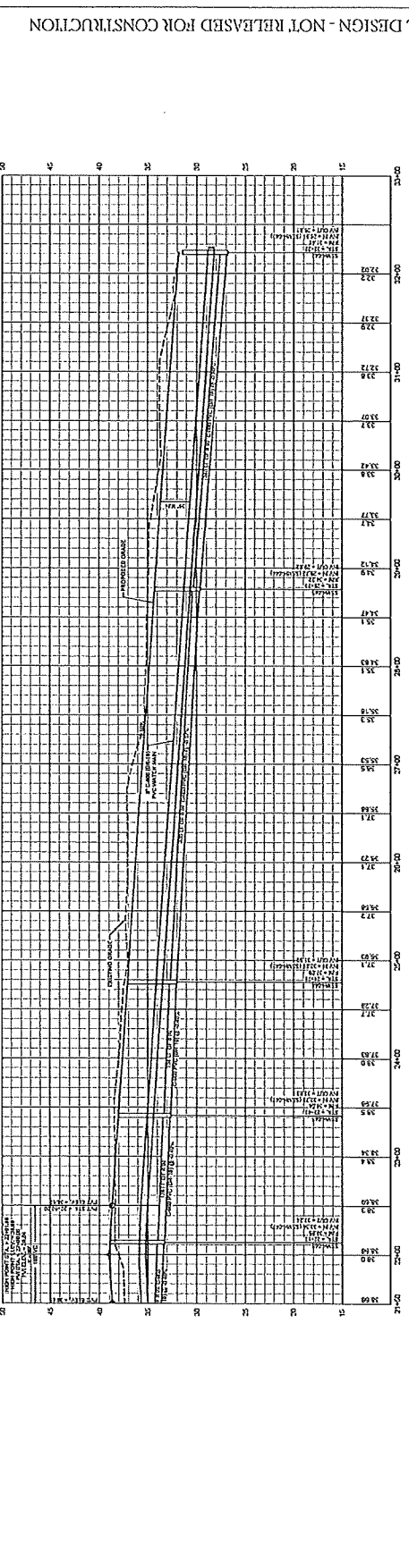
1. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 10 FEET FROM THE EDGE OF PAVEMENT.
2. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 10 FEET FROM THE EDGE OF PAVEMENT.
3. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 10 FEET FROM THE EDGE OF PAVEMENT.
4. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 10 FEET FROM THE EDGE OF PAVEMENT.

FORCE MAIN NOTES:

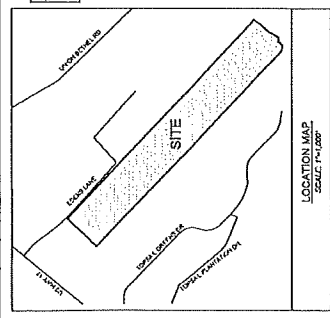
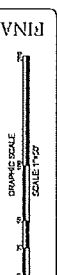
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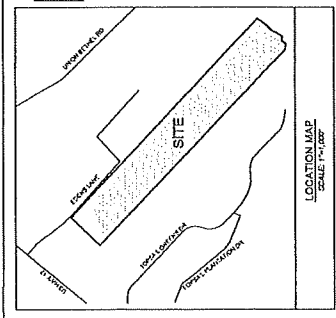
ROAD C PLAN VIEW
STA. 21+50 TO STA. 32+22
HORIZONTAL SCALE: 1"=50'



ROAD C PROFILE VIEW
STA. 21+50 TO STA. 32+22
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



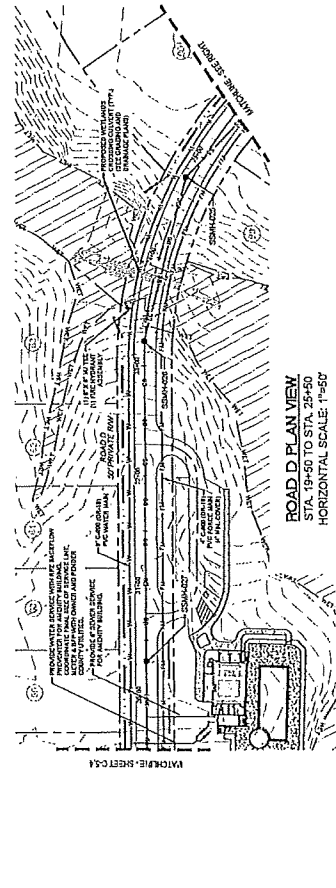
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



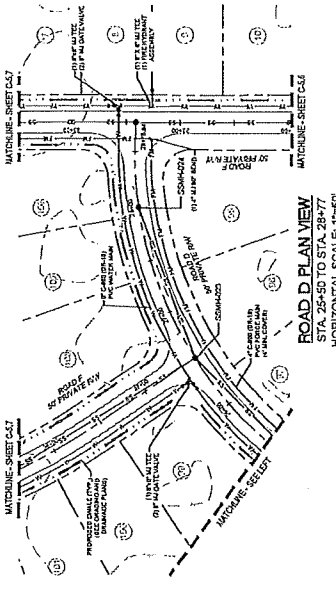
SERVICE NOTE:
 CONTRACTOR SHALL INSTALL ONE (1) HAND WATER SERVICE LINE AND ONE (1) HAND SEWER SERVICE LINE.

- UTILITY NOTES: (N.C.A.C. 15A.0203(a), 15A.0203(b))**
- WATER MAINS SHALL BE LOCATED AS TO PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET FROM SEWER. IF CONDITIONS EXIST SUCH THAT SEWER MAINS CANNOT BE LOCATED AS TO PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET FROM WATER MAINS, THE WATER MAIN SHALL BE LAD AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THE SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATER MAIN PIPE CENTERED ON THE CROSSING AND SEWER PIPE CENTERED ON THE CROSSING WITH A MINIMUM OF 18 INCHES OF SEPARATION.
 - CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE R.C.P.P.C.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 18 INCHES BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE R.C.P.P.C.
 - A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

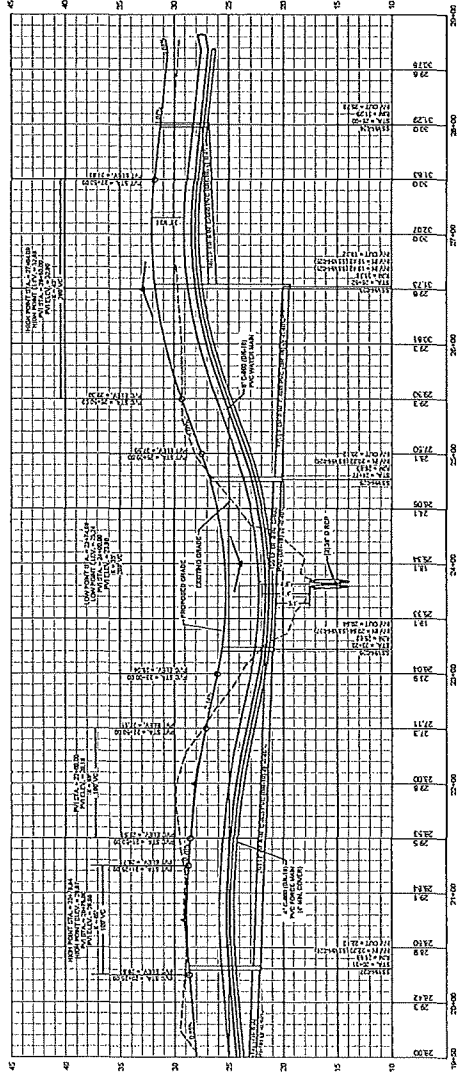
- GRAVITY SEWER NOTES:**
- ALL GRAVITY SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - ALL GRAVITY SEWER LINES SHALL BE CONSTRUCTED OF 12" DIA. DUCTILE IRON PIPE WITH 15' MINIMUM COVER.
 - ALL GRAVITY SEWER LINES SHALL BE CONSTRUCTED OF 12" DIA. DUCTILE IRON PIPE WITH 15' MINIMUM COVER.
 - ALL GRAVITY SEWER LINES SHALL BE CONSTRUCTED OF 12" DIA. DUCTILE IRON PIPE WITH 15' MINIMUM COVER.
- WATER MAIN NOTES:**
- ALL WATER MAINS SHALL BE CONSTRUCTED OF 12" DIA. DUCTILE IRON PIPE WITH 15' MINIMUM COVER.
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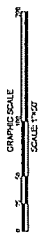
ROAD D PLAN VIEW
 STA. 19+50 TO STA. 29+50
 HORIZONTAL SCALE: 1"=50'



ROAD D PLAN VIEW
 STA. 29+50 TO STA. 29+77
 HORIZONTAL SCALE: 1"=50'



ROAD D - PROFILE VIEW
 STA. 19+50 TO STA. 29+77
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS PREPARED BY: [Name] CHECKED BY: [Name] DATE: [Date]		C-5.5 15.0000 2019.04	PLAN & PROFILE ROAD D EDENS LANE TOPSAIL TOWNSHIP PENDER COUNTY, NORTH CAROLINA	PARAMOUNT 122 Clearwater Winston-Salem, North Carolina 27157 (703) 763-6500 (919) 914-1600	CLIENT INFORMATION LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BEYLLIE, NC 28451	SHEET NO.	TOTAL SHEETS
						SHEET NO.	TOTAL SHEETS

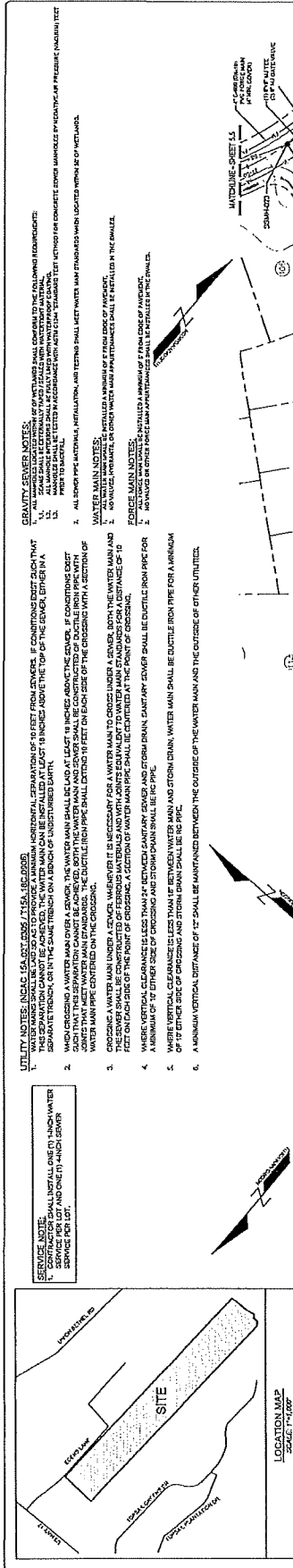
REVISIONS		

LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELLEVILLE, NC 28151

PARAMOUNT ENGINEERS & ARCHITECTS
122 Carolina Drive
Wahpeton, North Carolina 28160
(919) 791-4700 (F)
(919) 791-4700 (C)

PLAN & PROFILE
ROAD F
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA
OPEN LANE
DRAINAGE RESEARCH
PROJECT STATUS
DATE: 11/21/23
SCALE: 1"=50'

C-5.7
SCALE: 1"=50'



UTILITY NOTES: INACG, SEA, GWS, J15A, (16)GWS

- WATER MAINS SHALL BE LAYED OUT TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SERVICES. IF CONDITIONS EXIST SUCH THAT WATER MAINS CANNOT BE LAYED OUT AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SERVICES, EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BED OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SERVICE, THE WATER MAIN SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SERVICE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BED OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN UNDER A SERVICE, BOTH THE WATER MAIN AND SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM WALL THICKNESS OF 12 INCHES. THE SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM WALL THICKNESS OF 12 INCHES. THE SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM WALL THICKNESS OF 12 INCHES. THE SERVICE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM WALL THICKNESS OF 12 INCHES.
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GRAVITY SEWER NOTES:

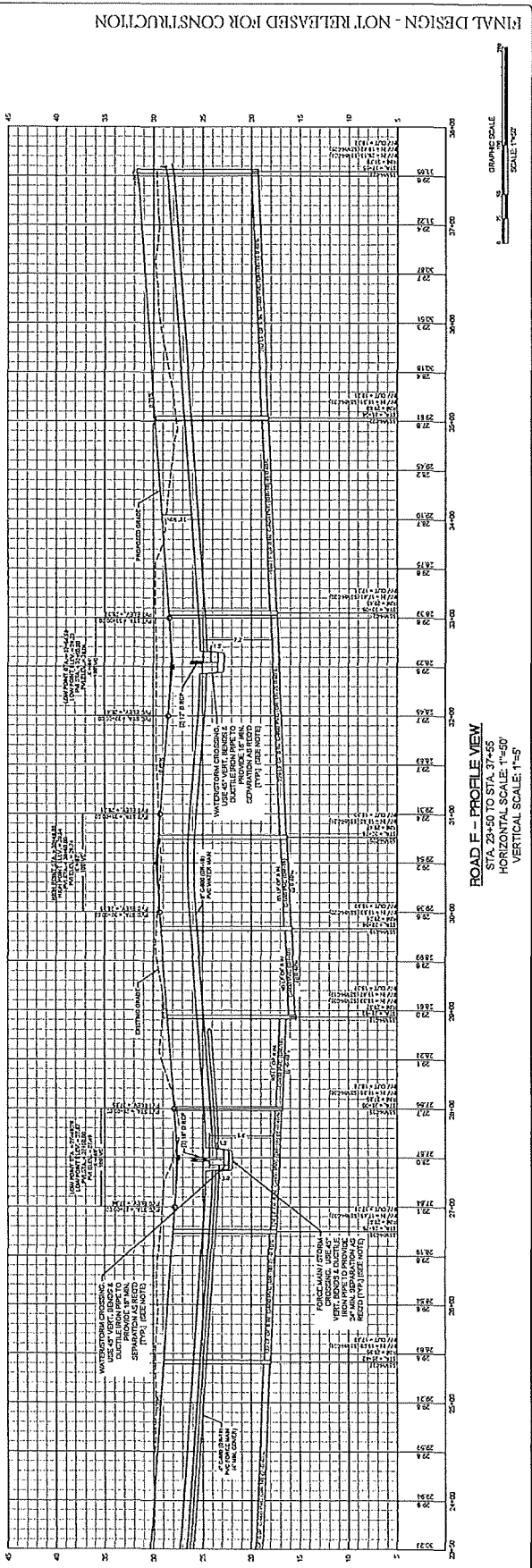
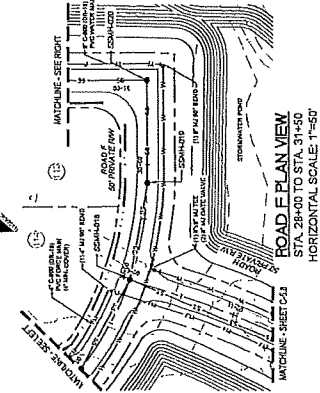
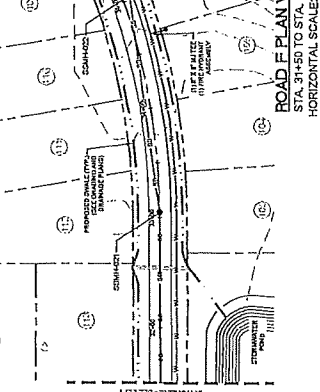
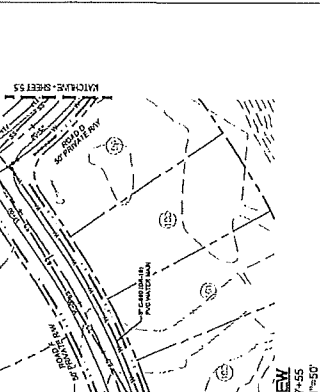
- ALL GRAVITY SEWERS SHALL BE CONSTRUCTED OF 12 INCH DIA. VITRIFIED CLAY PIPE WITH 1/2" WALL THICKNESS.
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WATER MAIN NOTES:

- ALL WATER MAINS SHALL BE CONSTRUCTED OF 12 INCH DIA. DUCTILE IRON PIPE WITH 1/2" WALL THICKNESS.
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FORCE MAIN NOTES:

- ALL FORCE MAINS SHALL BE CONSTRUCTED OF 12 INCH DIA. DUCTILE IRON PIPE WITH 1/2" WALL THICKNESS.
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- ALL FORCE MAINS SHALL BE CONSTRUCTED OF 12 INCH DIA. DUCTILE IRON PIPE WITH 1/2" WALL THICKNESS.



REVISIONS	

LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELVILLE, NC 28511

PARAMOUNT ENGINEERING, INC.
122 Cannon Drive
Wilmington, North Carolina 28403
(919) 391-6700 (F) (919) 391-6709 (H)
NCLINK # 0286

PLAN & PROFILE
ROAD H
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS
DATE: 04/01/2024
SCALE: 1"=50'

C-5.8
SCALE: 1"=40'

GRAVITY SEWER NOTES:

- ALL GRAVITY SEWERS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - ALL GRAVITY SEWERS SHALL BE 18" DIA. UNLESS OTHERWISE SPECIFIED.
 - ALL GRAVITY SEWERS SHALL BE 4% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED.
 - ALL GRAVITY SEWERS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
 - ALL GRAVITY SEWERS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
 - ALL GRAVITY SEWERS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
- ALL SEWER PIPES, MANHOLES, INSTALLATION, AND TRENCHES SHALL BE LOCATED WITHIN 5' OF VERTICAL CURVES.

WATER MAIN NOTES:

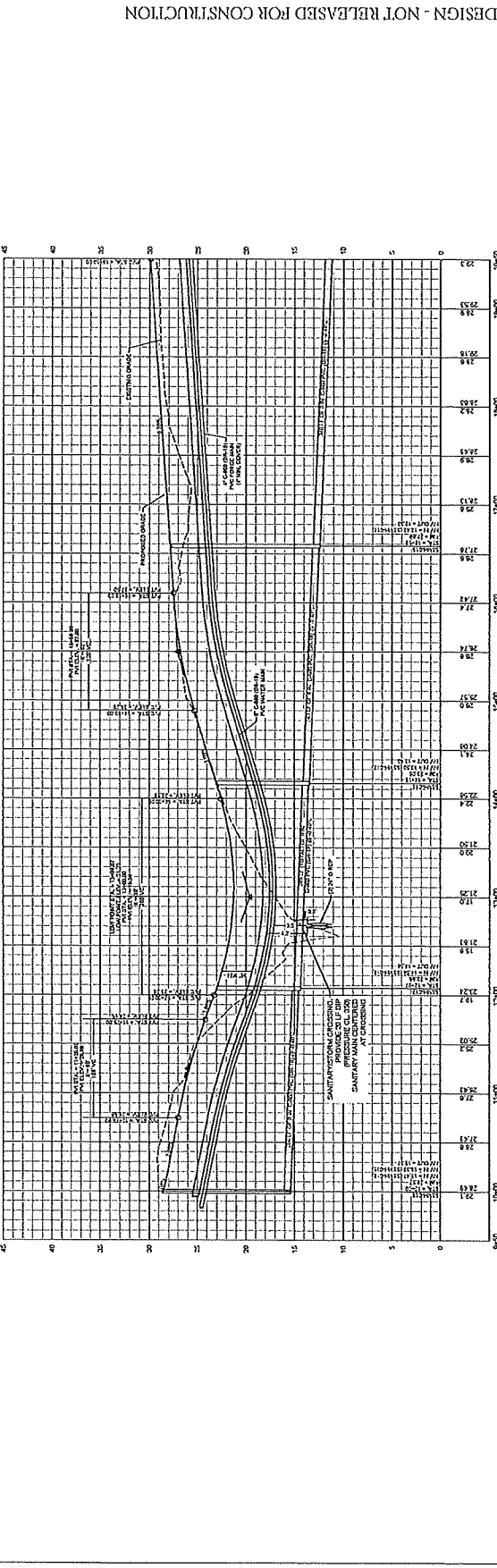
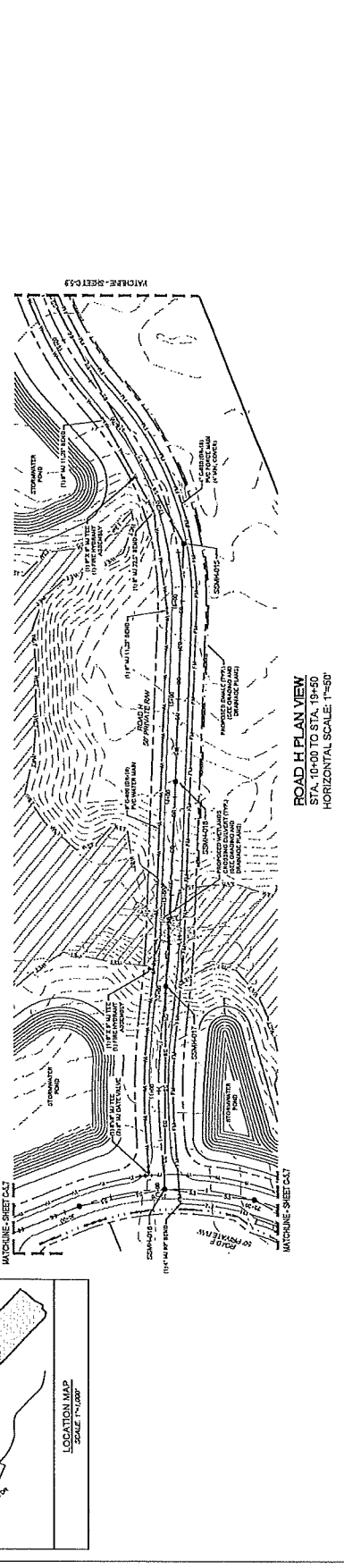
- ALL WATER MAINS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHALL BE 4% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.

FORCE MAIN NOTES:

- ALL FORCE MAINS SHALL BE 12" DIA. UNLESS OTHERWISE SPECIFIED.
- ALL FORCE MAINS SHALL BE 4% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED.
- ALL FORCE MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
- ALL FORCE MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.
- ALL FORCE MAINS SHALL BE 15' MINIMUM COVER UNLESS OTHERWISE SPECIFIED.

UTILITY NOTES: (N.C.A.C. 15A 027.0005, 15A 027.0006)

- WATER MAINS SHALL BE Laid AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT SEWERS AND WATER MAINS CANNOT BE MAINTAINED AT THIS SEPARATION, THE WATER MAIN SHALL BE Laid AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE MAINTAINED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM OF 18 INCHES OF COVER. THE CENTER TO CENTER SPACING SHALL BE 24 INCHES. THE CENTER TO CENTER SPACING OF THE WATER MAIN AND SEWER SHALL BE 24 INCHES. THE CENTER TO CENTER SPACING OF THE WATER MAIN AND SEWER SHALL BE 24 INCHES.
- CROSSING A WATER MAIN UNDER A SEWER, WHEREVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. THE CENTER TO CENTER SPACING OF THE WATER MAIN AND SEWER SHALL BE 24 INCHES. THE CENTER TO CENTER SPACING OF THE WATER MAIN AND SEWER SHALL BE 24 INCHES.
- WHERE VERTICAL CLEARANCE IS LESS THAN 18 INCHES BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE 18" DIA. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

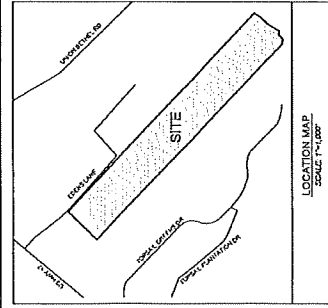


FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

SCALE: 1"=40'

SCALE: 1"=50'

ROAD H - PROFILE VIEW
STA. 10+00 TO STA. 19+50
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



FOR THE WATER MAIN AND SANITARY SEWER MAINS, THE WATER MAIN SHALL BE 18 INCHES ABOVE THE TOP OF THE SEWER EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A SLOPE OF UNDISTURBED GROUND.

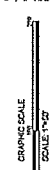
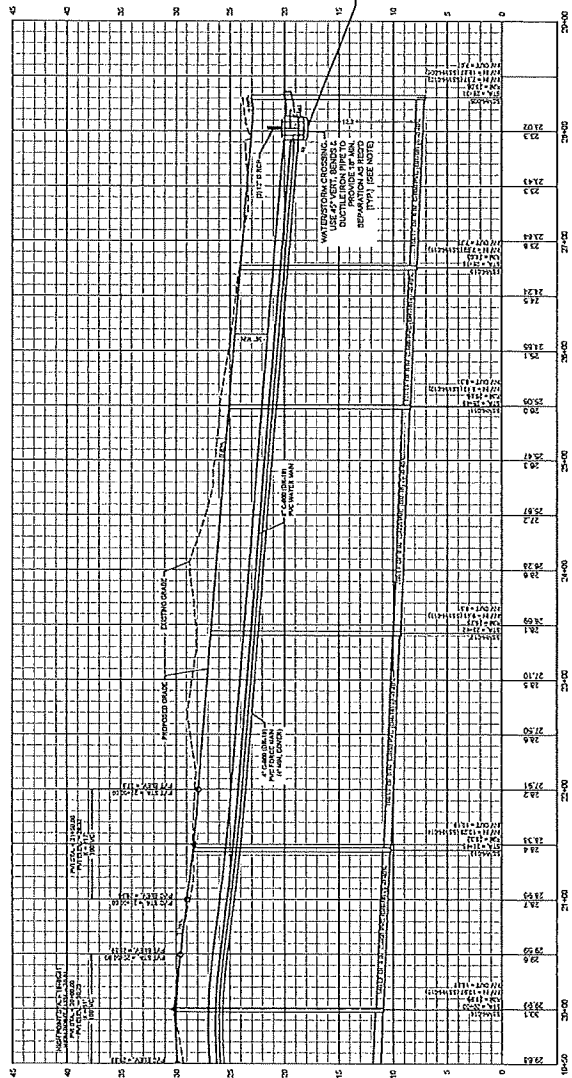
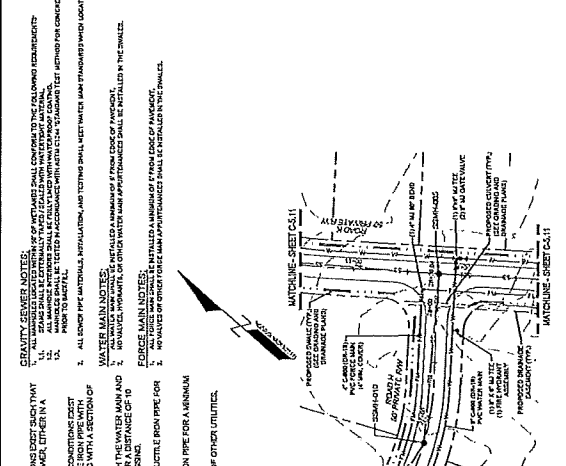
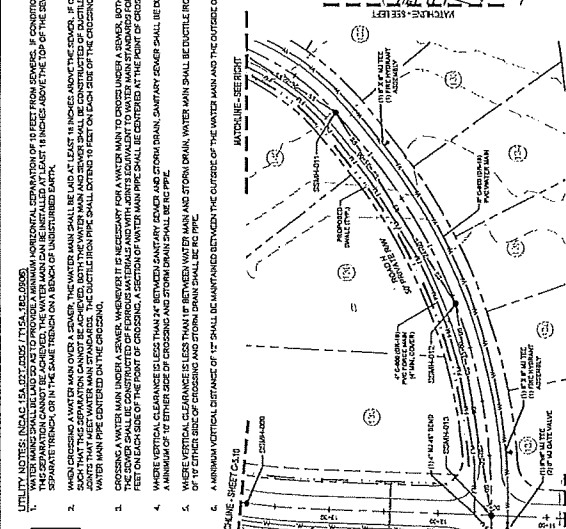
WHERE CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS DO NOT ALLOW FOR THIS SEPARATION, THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM 18 INCH CLEARANCE BETWEEN THE WATER MAIN AND SEWER. THE DUCTILE IRON PIPE SHALL EXTEND TO 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.

CROSSING A WATER MAIN UNDER A SEWER, WHEREVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FIBERGLASS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

WHERE VERTICAL CLEARANCE IS LESS THAN 4 FEET BETWEEN SANITARY SEWER AND OTHER DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

WHERE VERTICAL CLEARANCE IS LESS THAN 4 FEET BETWEEN WATER MAIN AND OTHER DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.



ROAD H - PROFILE VIEW
STA. 19+50 TO STA. 28+31
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'

NO.	REVISIONS

LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELVILLE, NC 28451

PARAMOUNT ENGINEERING, INC.
122 Cannon Drive
Wilmington, North Carolina 28403
(919) 791-6700 (F) (919) 791-6703 (C)

PLAN & PROFILE
ROAD H
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS
DESIGNED
PERMITTED
CONTRACT ADMINISTRATION
CONSTRUCTION ADMINISTRATION
AS-BUILT

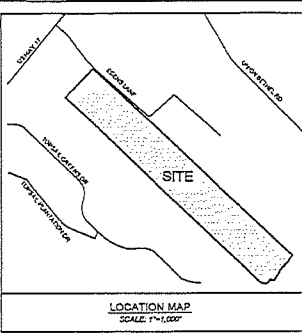
DESIGNER
PARAMOUNT ENGINEERING, INC.
122 CANNON DRIVE
WILMINGTON, NC 28403
(919) 791-6700 (F) (919) 791-6703 (C)

DATE
11/21/23

SCALE
1"=50'

C-5.9
NO. 0000 - 0000

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SERVICE NOTE:

- CONTRACTOR SHALL INSTALL ONE (1) 1-INCH WATER SERVICE PER LOT AND ONE (1) 4-INCH SEWER SERVICE PER LOT.

UTILITY NOTES: (NCAC 15A.02T, 0205 / 115A.18C, 0805)

- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERRUGINOUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

GRAVITY SEWER NOTES:

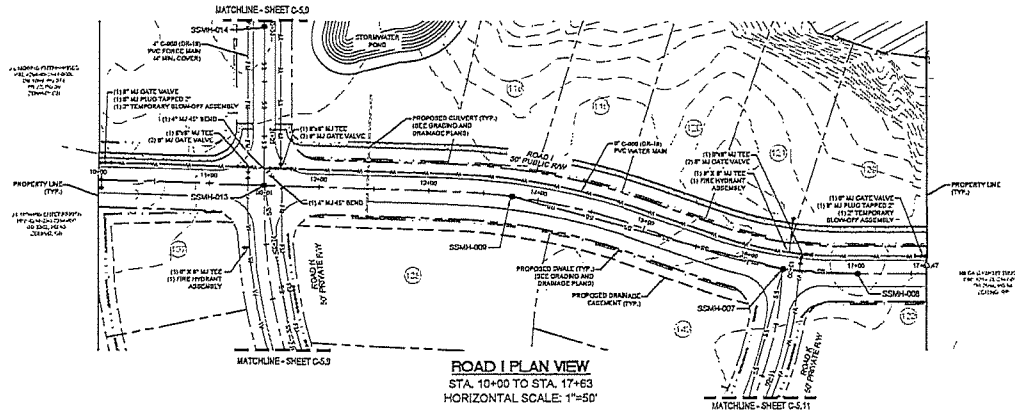
- ALL MANHOLES LOCATED WITHIN 10' OF WETLANDS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - SEWERS SHALL BE EXTERNALLY TAPED OR SEALED WITH WATERPROOF MATERIAL.
 - ALL MANHOLE INTERIORS SHALL BE FULLY LINED WITH WATERPROOF COATING.
 - MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C1364 STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY INVERTING AND TESTING PRIOR TO BACKFILL.
- ALL SEWER PIPE MATERIALS, INSTALLATION, AND TESTING SHALL MEET WATER MAIN STANDARDS WHEN LOCATED WITHIN 10' OF WETLANDS.

WATER MAIN NOTES:

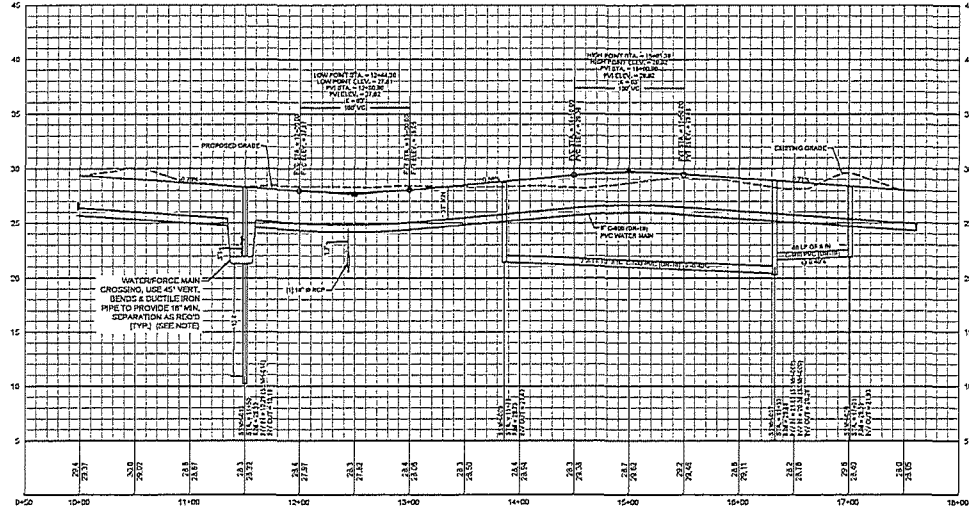
- ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
- NO VALVES, HYDRANTS, OR OTHER WATER MAIN APPURTENANCES SHALL BE INSTALLED IN THE DRAWAL.

FORCE MAIN NOTES:

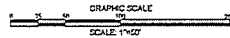
- ALL FORCE MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
- NO VALVES OR OTHER FORCE MAIN APPURTENANCES SHALL BE INSTALLED IN THE DRAWAL.



ROAD I PLAN VIEW
STA. 10+00 TO STA. 17+63
HORIZONTAL SCALE: 1"=50'



ROAD I - PROFILE VIEW
STA. 10+00 TO STA. 17+63
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

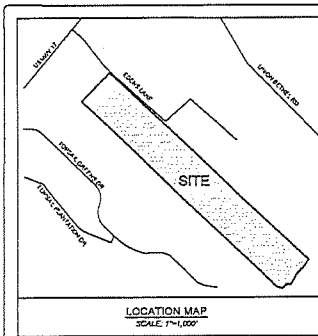
DATE	DESCRIPTION

PARAMOUNT ENGINEERS, INC.
122 Canal Drive
Wilmington, North Carolina 28403
(919) 788-4477
www.paramounteng.com

PLAN & PROFILE
ROAD I
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT NUMBER: 20174.PC
DATE: 12/20/23
SCALE: AS SHOWN
DRAWN BY: JAC
CHECKED BY: JAC
APPROVED BY: JAC
PROJECT MANAGER: JAC

C-5.10
PROJECT NUMBER: 20174.PC



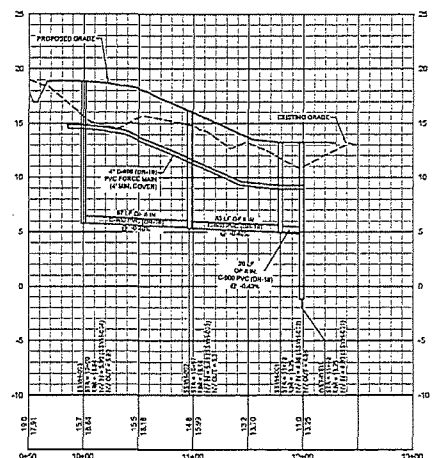
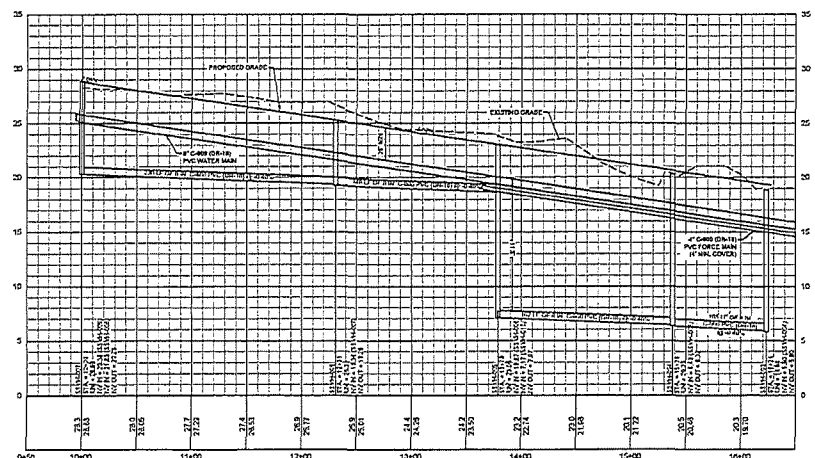
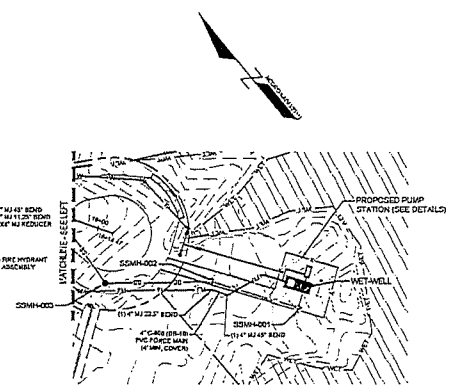
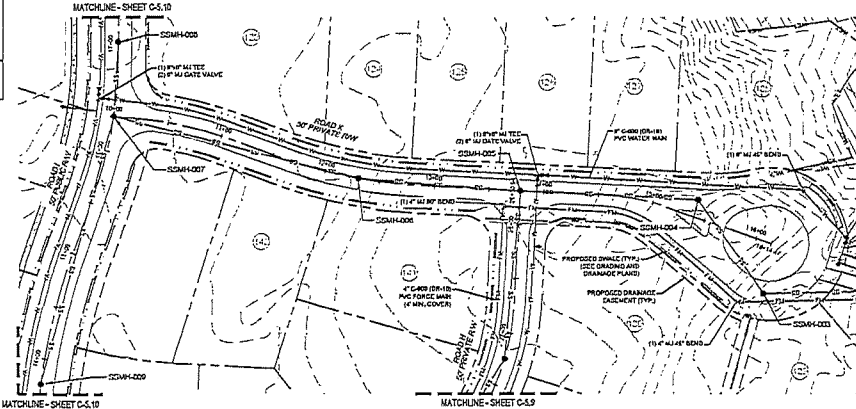
SERVICE NOTE:
1. CONTRACTOR SHALL INSTALL ONE (1) 1/4-INCH WATER SERVICE PER LOT AND ONE (1) 4-INCH SEWER SERVICE PER LOT.

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0908)
 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN SHALL BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 10 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 6. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

GRAVITY SEWER NOTES:
 1. ALL MANHOLES LOCATED WITHIN 40' OF WETLANDS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 1.1. 24" DIAM. SHALL BE EXTERNALLY TYPED (24" DIA) WITH PROTECTIVE 4" TRENCH.
 1.2. ALL MANHOLE INTERIORS SHALL BE FULLY LINED WITH WATERPROOF COATING.
 1.3. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C1534 STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (INFLATING TEST) PRIOR TO BACKFILL.
 2. ALL SEWER PIPE MATERIALS, INSTALLATION, AND TESTING SHALL MEET WATER MAIN STANDARDS WHEN LOCATED WITHIN 40' OF WETLANDS.

WATER MAIN NOTES:
 1. ALL WATER MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
 2. NO VALVES, HYDRANTS, OR OTHER WATER MAIN APPURTENANCES SHALL BE INSTALLED IN THE DUALS.

FORCE MAIN NOTES:
 1. ALL FORCE MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
 2. NO VALVES OR OTHER FORCE MAIN APPURTENANCES SHALL BE INSTALLED IN THE DUALS.



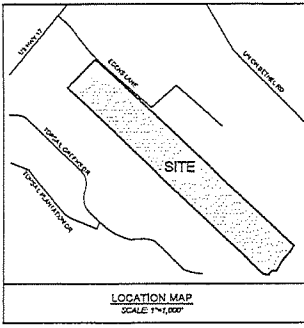
ROAD K - PROFILE VIEW
STA. 10+00 TO STA. 16+14
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'

SANITARY SEWER - PROFILE VIEW
SSMH-003 TO WET-WELL
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



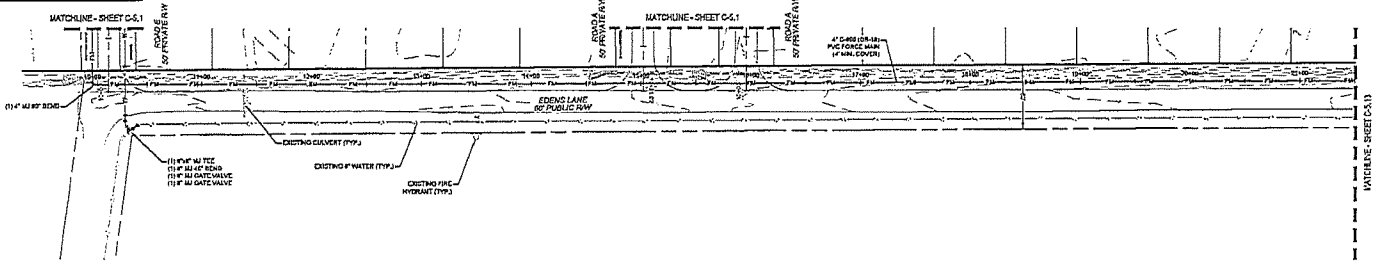
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PARAMOUNT ENGINEERING 122 Gwynn Drive Wilmington, North Carolina 28403 (919) 769-1100 www.paramounte.com	LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELLEVILLE, NC 28451
PROJECT STATE CONTRACT NO. 15A-02T-0305 DRAWING NO. C-5.11 DATE: 04/01/2024	PLAN & PROFILE ROAD K EDENS LANE TOPSAIL TOWNSHIP PENDLEK COUNTY, NORTH CAROLINA
	C-5.11 RD 006 2019.PC

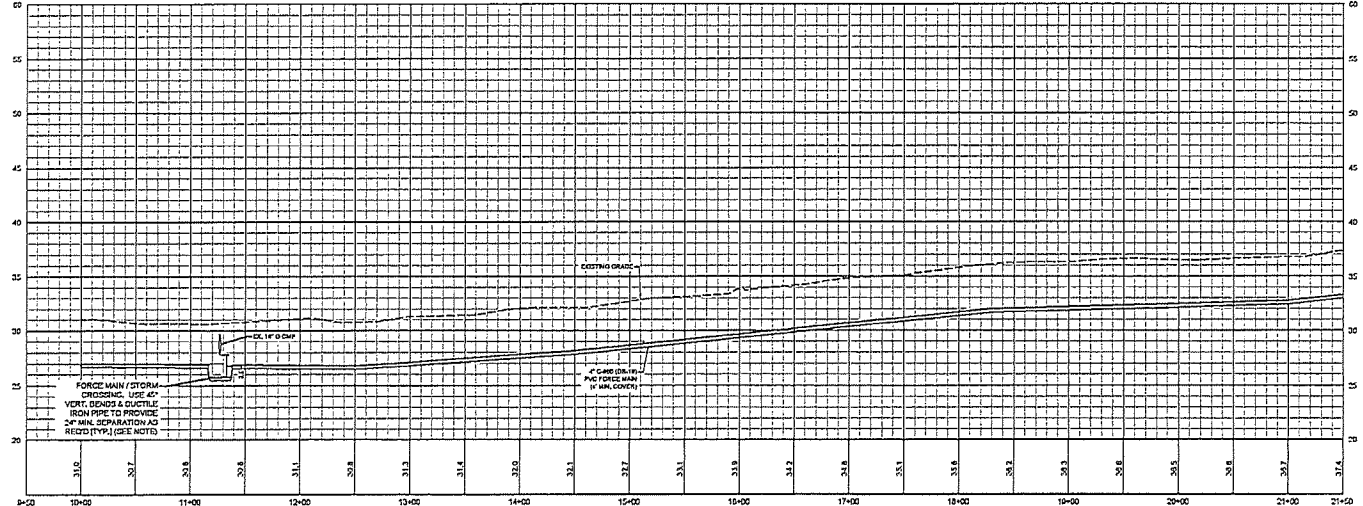


- UTILITY NOTES:** (NCAG 15A.02T.0305 / T15A.18C.0000)
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24\"/>

- FORCE MAIN NOTES:**
1. ALL FORCE MAIN GRABS BE INSTALLED A MINIMUM OF 6\"/>



4-IN FORCE MAIN PLAN VIEW
 STA. 10+00 TO STA. 21+50
 HORIZONTAL SCALE: 1"=50'



4-IN FORCE MAIN - PROFILE VIEW
 STA. 10+00 TO STA. 21+50
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=8'



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS	

LOGAN DEVELOPERS, INC.
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28645

PARAMOUNT
 ENGINEERS, P.C.
 122 Central Drive
 Winterville, North Carolina 28691
 (919) 691-0000 (local)
 (919) 691-0349
 N.C. License No. 0249

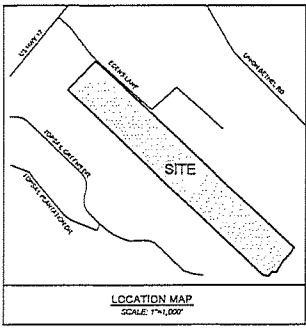
PLAN & PROFILE
 OFFSITE 4-INCH FORCE MAIN
 EDENS LANE
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS	DATE
DESIGNED	11/11/2023
CHECKED	11/11/2023
APPROVED	11/11/2023
DATE	11/11/2023
SCALE	AS SHOWN
DATE	11/11/2023

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OFFICIAL COPY

Apr 01 2024

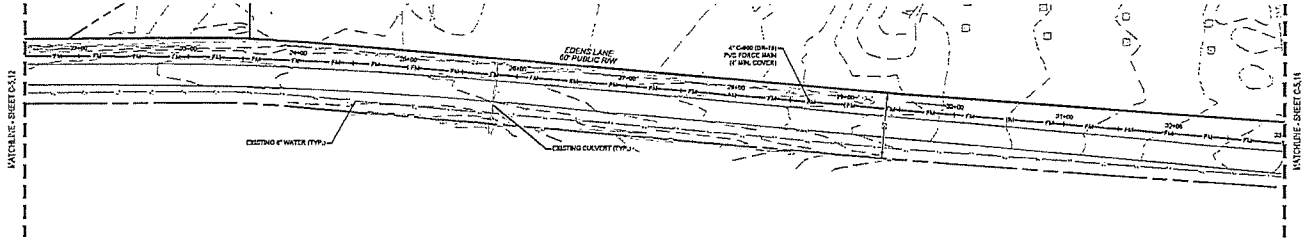


UTILITY NOTES: (N.C.A.C. 15A.02T.0205 / T.15A.18C.0900)

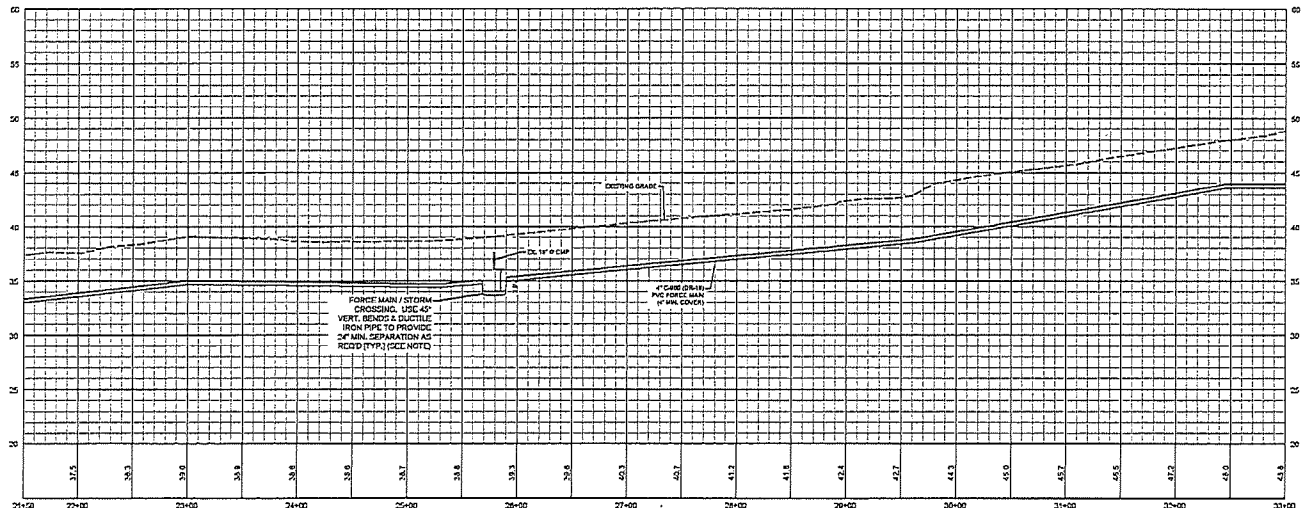
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM COVERS, IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 10 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER, IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE COVERED AT THE POINT OF CROSSING.
4. WHERE VERTICAL CLEARANCE IS LESS THAN 2' BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
6. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

FORCE MAIN NOTES:

1. ALL FORCE MAINS SHALL BE INSTALLED A MINIMUM OF 6" FROM EDGE OF PAVEMENT.
2. MANHOLES OR OTHER FORCE MAIN APPURTENANCES SHALL BE NOTICED IN EXISTING ROADSIDE DITCHES.



4-IN FORCE MAIN PLAN VIEW
STA. 21+50 TO STA. 33+00
HORIZONTAL SCALE: 1"=50'



4-IN FORCE MAIN - PROFILE VIEW
STA. 21+50 TO STA. 33+00
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

NO.	REVISIONS

LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELLEVILLE, NC 28451

PARAMOUNTTE
INCORPORATED
132 Cavendish Drive
Wilmington, North Carolina 28403
910.734.6266
INCL. STATE R.C. 816

PLAN & PROFILE
OFFSITE 4-INCH FORCE MAIN
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

BRIGGS & STRAIN
REGISTERED PROFESSIONAL ENGINEERS
1325 W. 10TH ST. SUITE 100
WILMINGTON, NC 28403
TEL: 910.734.6266
WWW.BSINC.COM

C-5.13
PG 006 OF 25 TOTAL PAGES

C-5.14



PROJECT STATUS
DRAWING REVISIONS

PLAN & PROFILE
OPPOSITE 10-INCH FORCE MAIN
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

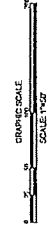
PARAMOUNT ENGINEERS & ARCHITECTS
122 Cecil Street
Wilmington, North Carolina 28403
(919) 744-1100 (F)
(919) 744-1101 (P)

CURT RIVINGTON
LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BEVILLE, NC 28431

REVISIONS

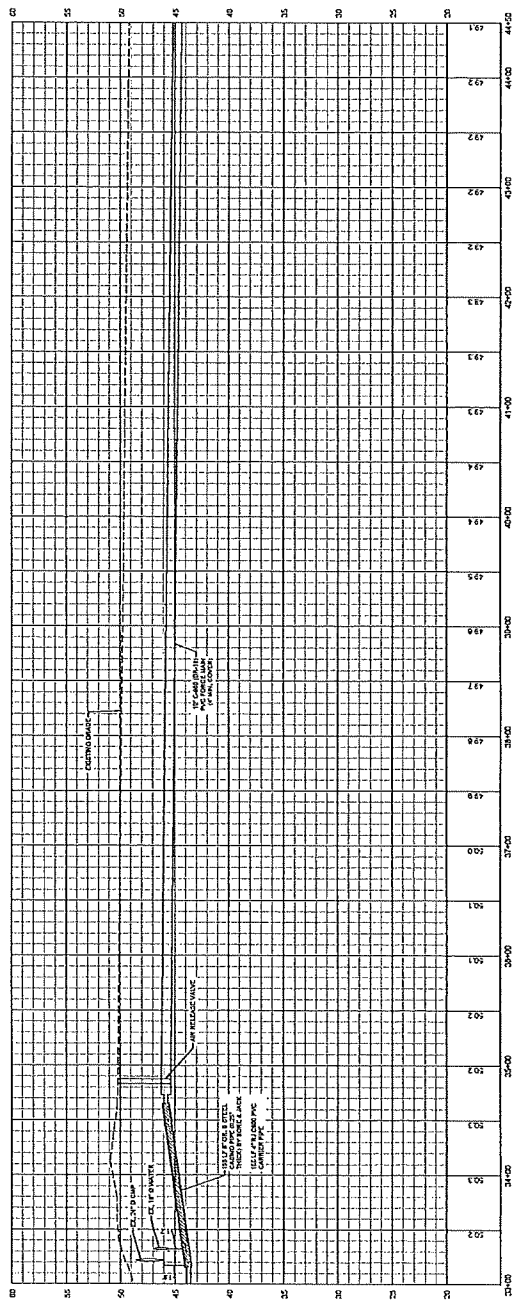
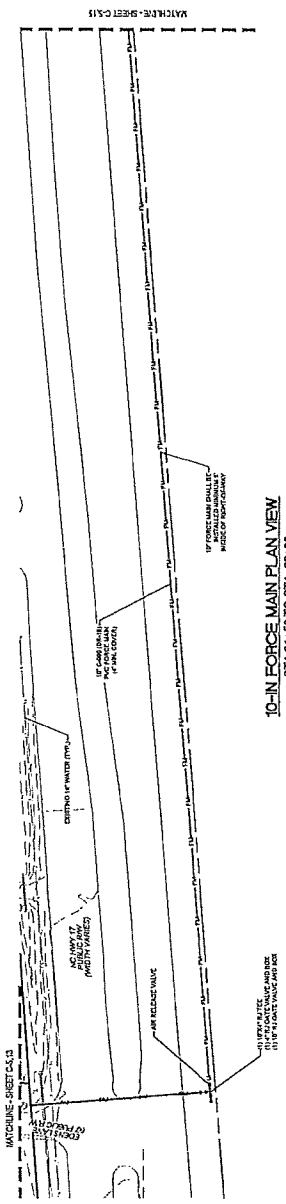
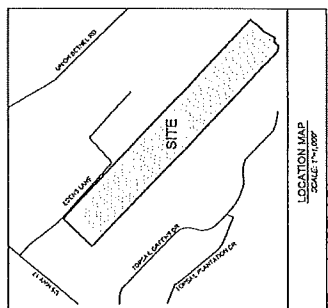
NO.	DESCRIPTION	DATE

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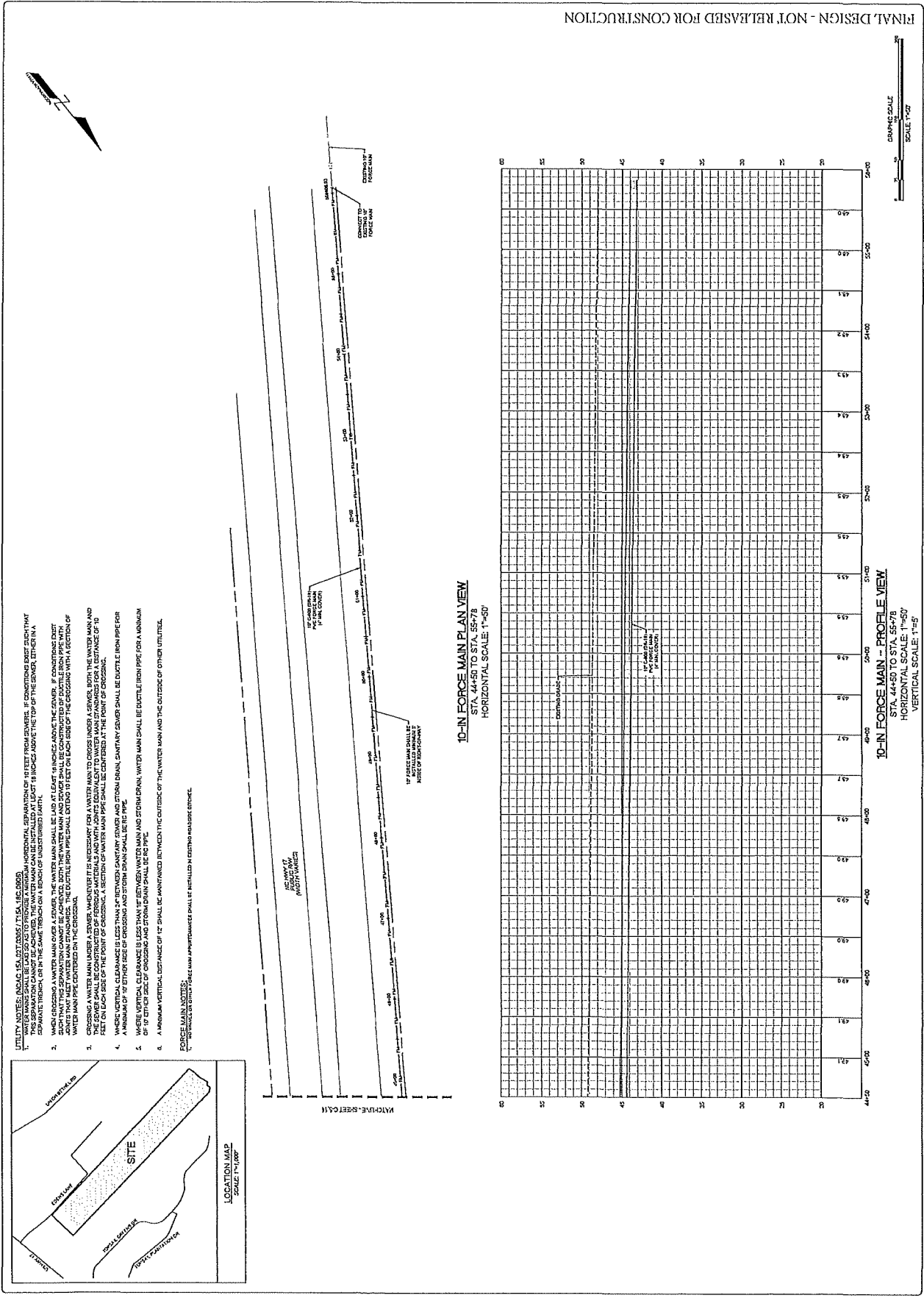
- UTILITY NOTES: (NCEAC 15A.02.005 / T.E.A. 14C.005)
1. WATER MAINS SHALL BE LOCATED TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT SEPARATION IS NOT POSSIBLE, THE WATER MAIN SHALL BE Laid AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DOUBLE WALL PIPE WITH THE WATER MAIN BEING LOCATED AT LEAST 18 INCHES FROM THE SEWER. SEWER SHALL BE LOCATED ON THE OUTER SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 2. CROSSING A WATER MAIN UNDER A SEWER WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF DOUBLE WALL PIPE AND WITH GENTLE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. ALL SEWERS SHALL BE CONSTRUCTED WITH 15% MINIMUM SLOPE.
 3. WHERE VERTICAL CLEARANCE IS LESS THAN 18 FEET BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE ENCASED IN CONCRETE PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE 6" R.C. PIPE.
 4. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.

FORCE MAIN NOTES:
1. MINIMUM COVER OVER THE MAIN PIPE/TRENCH SHALL BE MAINTAINED IN EXISTING UNBUILT AREAS.

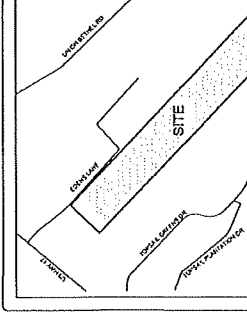


	PROJECT STATUS DRAWING REVISIONS NO. DATE BY 1 01/21/24 JBS 2 02/28/24 JBS 3 03/27/24 JBS 4 04/01/24 JBS	PLAN & PROFILE OFFSITE 10-INCH FORCE MAIN EPBENS LANE TOPSALE TOWNSHIP PENDER COUNTY, NORTH CAROLINA	PARAMOUNT ENGINEERS 123 Carolina Drive Wagram, North Carolina 28390 (919) 791-6100 (F) (919) 791-6100 (P) NC License #10000	LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELLEVILLE, NC 28431	SHEET NO. _____ TOTAL SHEETS _____ DATE _____
	C-5-15 SCALE: 1"=50' DATE: 04/01/24				

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- UTILITY NOTES:** (ADAG 15A, DIST. 08057, T.15A, 14C, 0805)
1. WATER MAINS SHALL BE Laid TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 18 FEET FROM SEWERS. IF CONDITIONS PREVENT THIS SEPARATION, THE WATER MAIN SHALL BE Laid IN A BENCH OR IN A TRENCH ON A BENCH OF UNDISTURBED EARTH.
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE Laid AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS PREVENT THIS SEPARATION, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATER MAIN PIPE CENTERED ON THE SEWER.
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERRUGINOUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 4. WHEN CROSSING A WATER MAIN UNDER A SEWER, THE WATER MAIN SHALL BE Laid AT LEAST 18 INCHES BELOW THE SEWER. IF CONDITIONS PREVENT THIS SEPARATION, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATER MAIN PIPE CENTERED ON THE SEWER.
 5. WHERE VERTICAL CLEARANCE IS LESS THAN 18 INCHES BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF CROSSING AND STORM DRAIN SHALL BE DUCTILE IRON PIPE.
 6. A MINIMUM VERTICAL DISTANCE OF 12" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.



FORCE MAIN NOTES:

1. ALL FORCE MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WAGRAM SPECIFICATIONS.

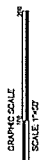
DATE: 04/01/24

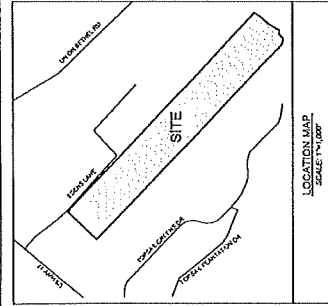
18" COVER OVER 10" PIPE

18" FORCE MAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WAGRAM SPECIFICATIONS

10-IN FORCE MAIN - PROFILE VIEW
STA. 44+50 TO STA. 55+78
HORIZONTAL SCALE: 1"=50'

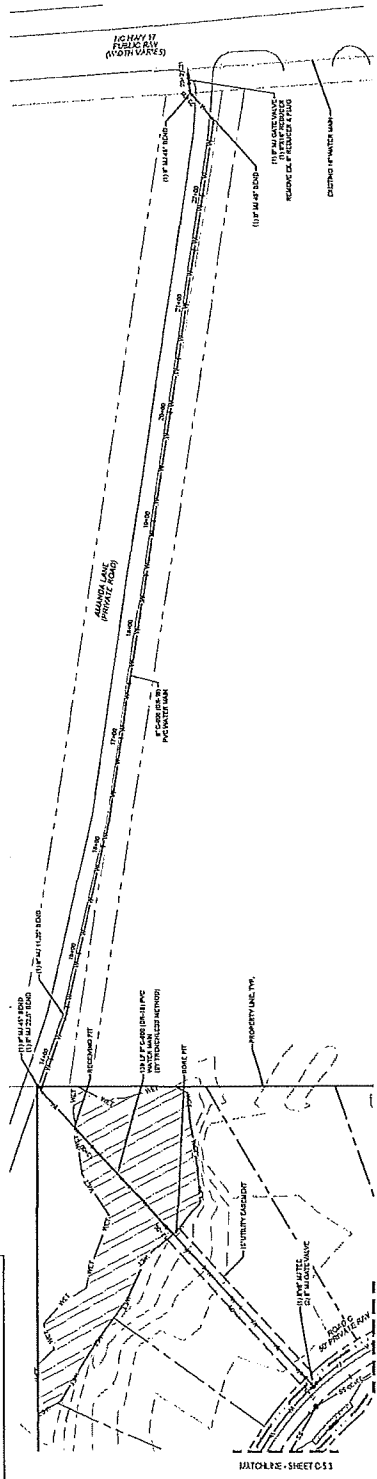
10-IN FORCE MAIN - PROFILE VIEW
STA. 44+50 TO STA. 55+78
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'





SERVICE LINES:
 1. CONDUIT SHALL INSTALL ONE (1) 1-INCH WATER SERVICE PIPE LOT AND ONE (1) 4-INCH SEWER SERVICE PIPE LOT.

- UTILITY NOTES:** (SCALE: 1/4"=100', TYPICAL, SEE DETAILED SHEET 021)
1. WATER MAINS SHALL BE LAYED OUT TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 18 FEET FROM SEWER. IF CONDITIONS EXIST SUCH THAT SEPARATION IS NOT FEASIBLE, SEPARATE TRENCH OR IN THE SAME TRENCH ON A BOARD OF UNRESTRAINED BATH.
 2. WHERE CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAYED AT LEAST 14 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH A MINIMUM OF 12 INCHES OF COVER. THE DUCTILE IRON PIPE SHALL EXTEND 15 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 3. CROSSING A WATER MAIN UNDER A SEWER, A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN JOINTS AND JOINTS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND OTHER DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING AND STORM DRAIN SHALL BE PIPE.
 5. A MINIMUM VERTICAL CLEARANCE OF 4" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.



- QUALITY CONTROL NOTES:**
1. ALL WELDED JOINTS SHALL BE WELDED TO THE FOLLOWING REQUIREMENTS:
 - a. ALL WELDED JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.
 - b. ALL WELDED JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.
 - c. ALL WELDED JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.
 2. ALL JOINTS SHALL BE WELDED TO THE FOLLOWING REQUIREMENTS:
 - a. ALL JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.
 - b. ALL JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.
 - c. ALL JOINTS SHALL BE WELDED WITH 1/4" THICK EPOXY RESIN.



NO.	DESCRIPTION	DATE

LOGAN DEVELOPERS, INC.
 60 GREGORY ROAD, SUITE 1
 RAYVILLE, NC 28151

PARAMOUNT
 122 Central Drive
 Raleigh, NC 27609
 (919) 846-1400

PLAN & PROFILE
 OFFSITE 8-INCH WATER
 EDENS LANE
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
 DESIGN DEVELOPMENT

SCALE:
 PLAN: 1"=50'
 PROFILE: 1"=5'

DATE:
 03/20/24

PROJECT NO.:
 240301

DRAWN BY:
 J. W. HARRIS

CHECKED BY:
 J. W. HARRIS

APPROVED BY:
 J. W. HARRIS

SCALE: 1"=50'

SCALE: 1"=5'

PROJECT NO. 240301

DRAWN BY J. W. HARRIS

CHECKED BY J. W. HARRIS

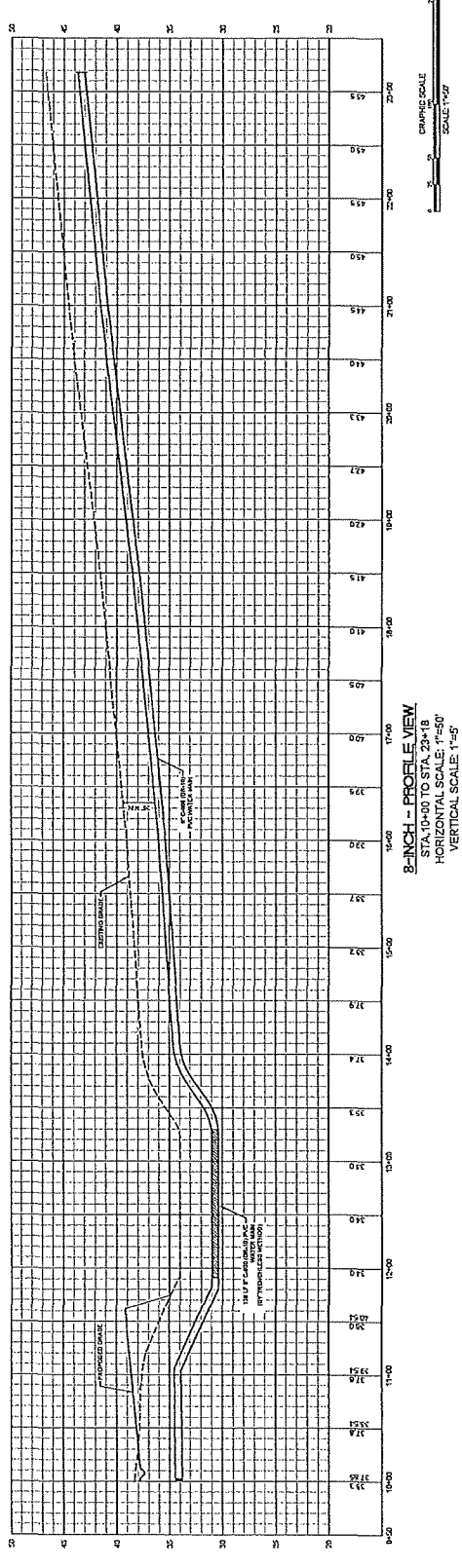
APPROVED BY J. W. HARRIS

DATE 03/20/24

SCALE 1"=50'

SCALE 1"=5'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



C-6.7
 15.0000 2017/06



PROJECT STATUS
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 PROJECT NAME
 PROJECT LOCATION
 PROJECT DATE

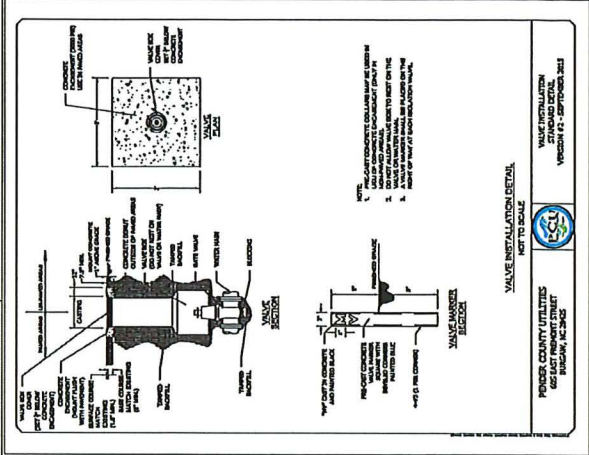
DETAILED
 DEPENDS LANE
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

PARAMOUNT
 123 Center Drive
 Raleigh, NC 27601
 (919) 792-0000
 NCE License: C-2846

LOGAN DEVELOPERS, INC.
 60 GREGORY ROAD, SUITE 1
 BEAUFORT, NC 28516

REVISIONS	

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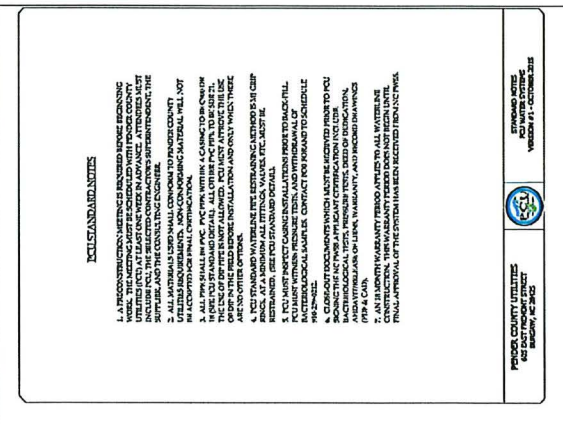
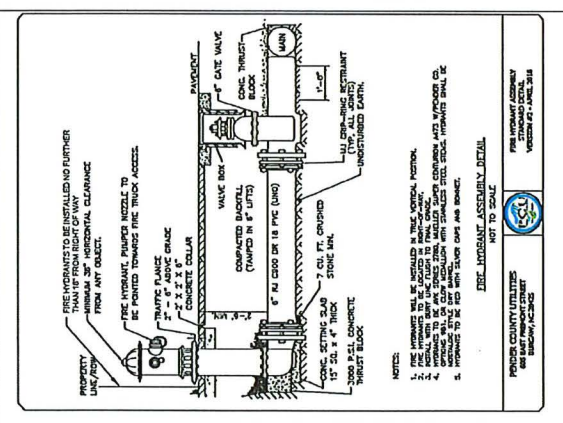
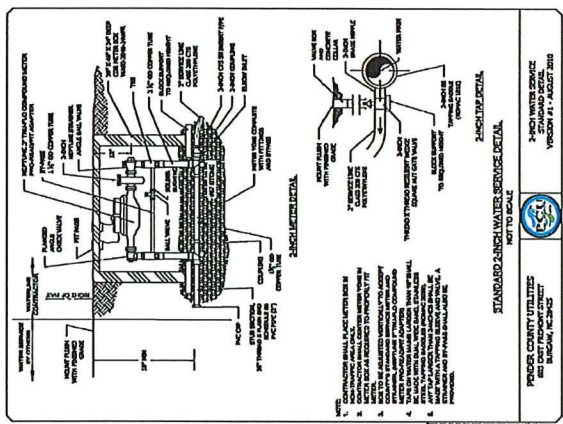
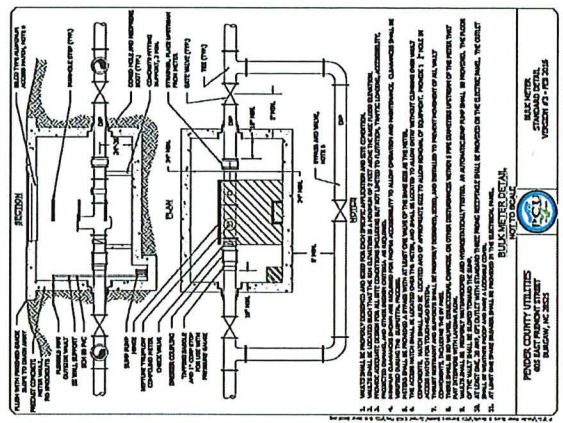
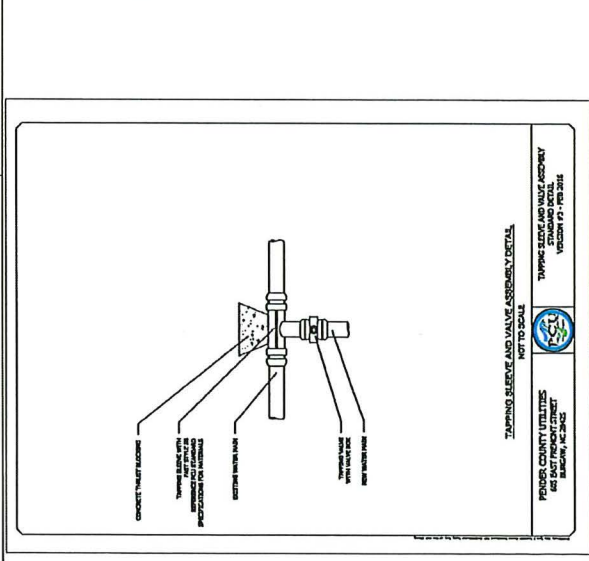
STANDARD 2-INCH WATER SERVICE DETAIL
 NOT TO SCALE
 PENDER COUNTY UTILITIES
 602 EAST FRONT STREET
 RALEIGH, NC 27601
 VERSION #1 - AUGUST 2023

NOTES:

- CONNECTION SHALL BE MADE WITH 1/2" DIA. GALV. STEEL PIPE AND 1/2" DIA. GALV. STEEL FITTINGS. ALL CONNECTIONS SHALL BE MADE WITH GALV. STEEL PIPE AND FITTINGS.
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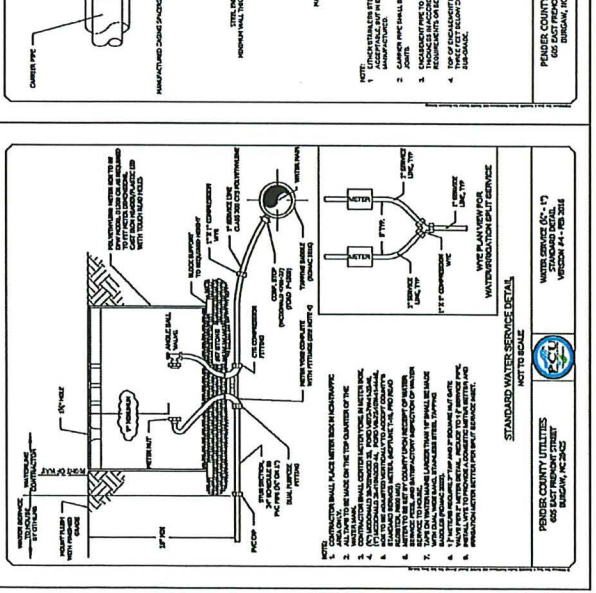
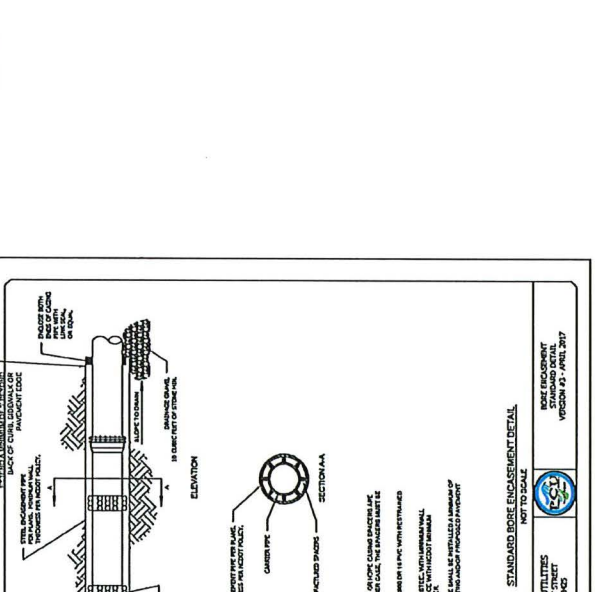
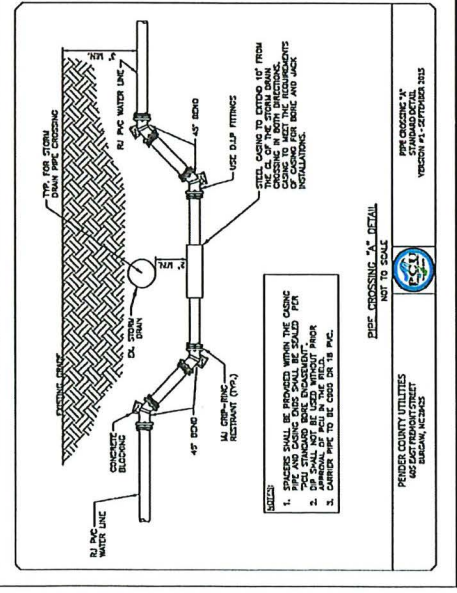
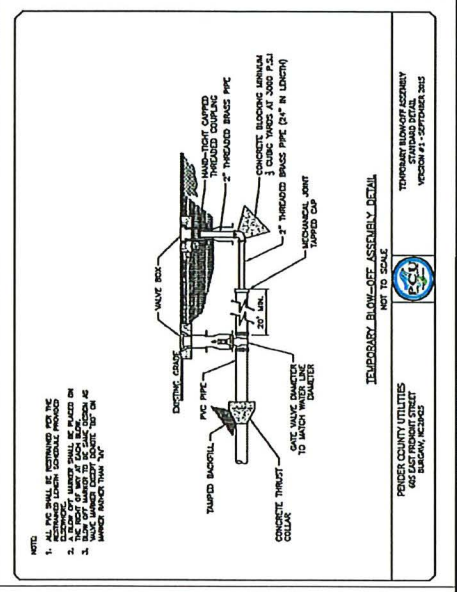
Standard Length	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	3"	4"	6"	8"	10"	12"	15"	18"	20"	24"	30"	36"	48"	60"
Standard Length	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	3"	4"	6"	8"	10"	12"	15"	18"	20"	24"	30"	36"	48"	60"
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Length of standard joint for larger diameter pipe



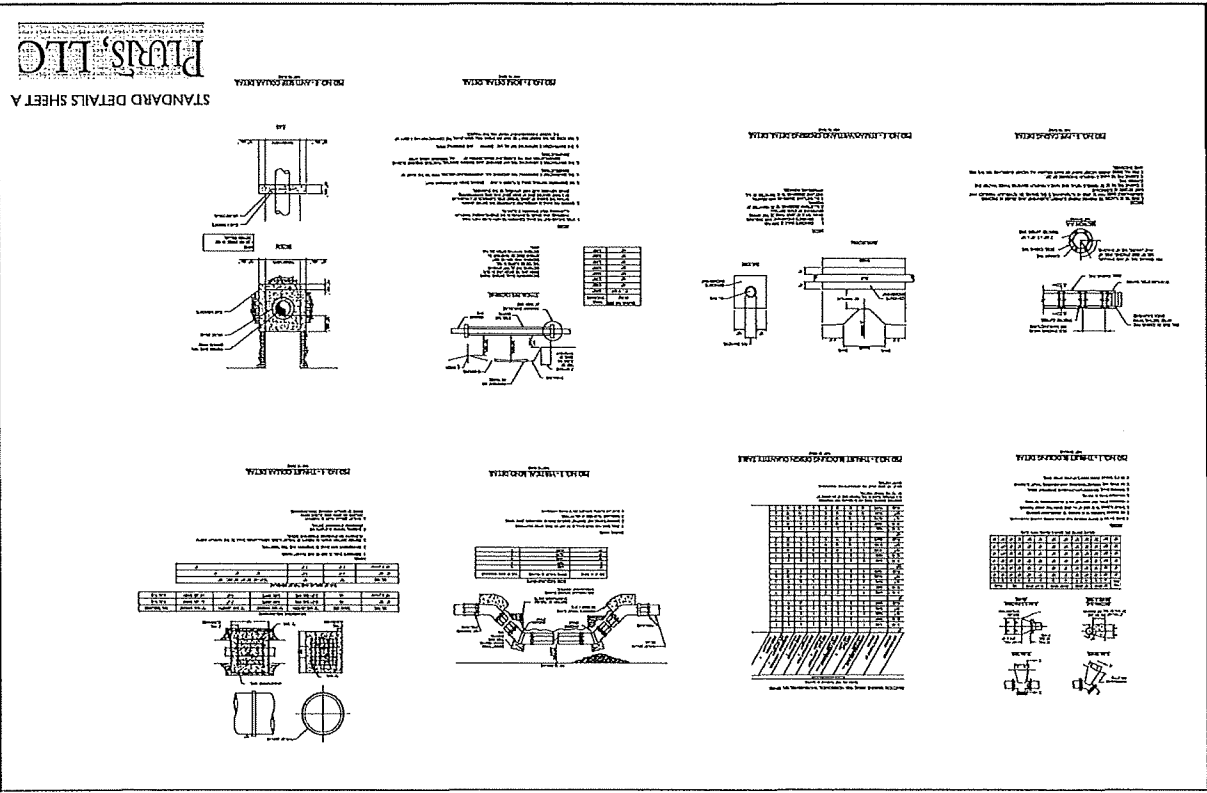
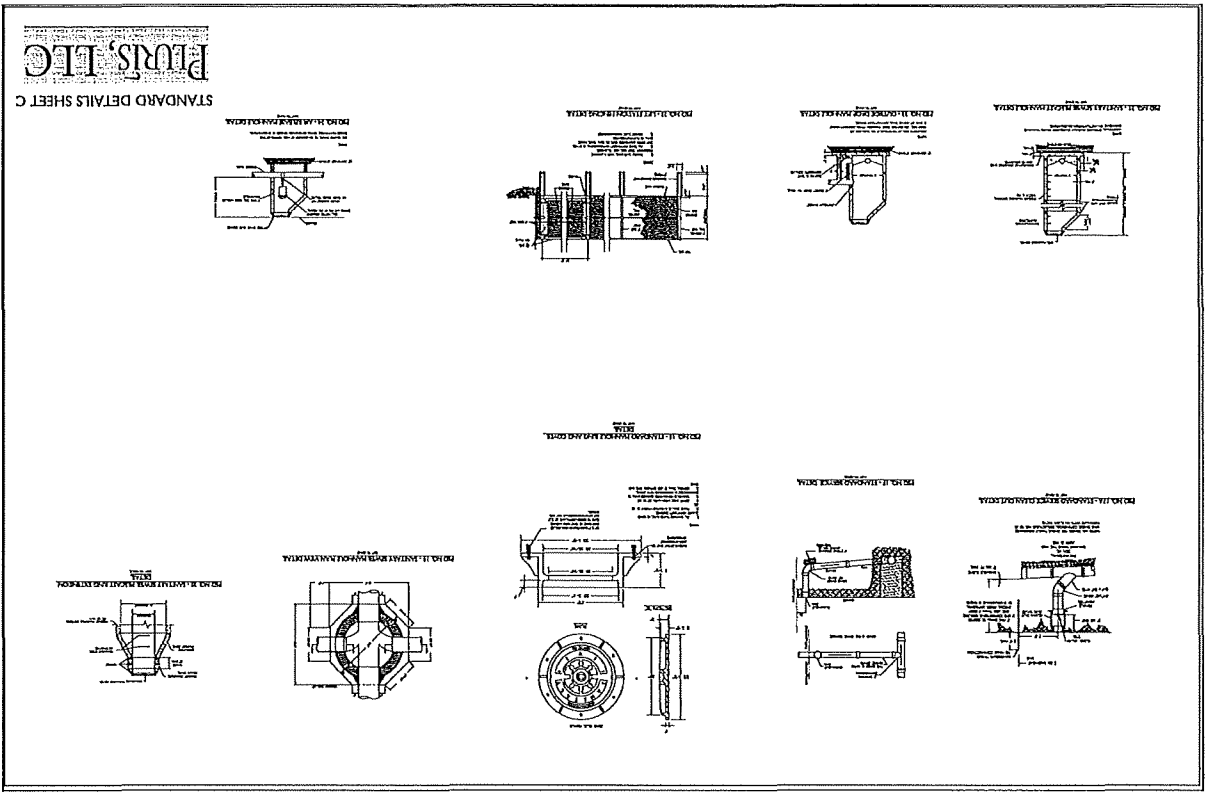
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	PROJECT LOCATION 60 EAST FRONT STREET BURLINGAME, NC 28834	DATE 04/01/2024
DESIGNER LOGAN DRYE/OPERS, INC. 60 GREGORY ROAD, SUITE 1 BELVILLE, NC 28511	CLIENT PRINCE GEORGE COUNTY 123 CANTON DRIVE WASHINGTON, NORTH CAROLINA 28386 (919) 742-0919 (P) (919) 742-0919 (F)	TOWNSHIP TOPSAIL TOWNSHIP PENDER COUNTY, NORTH CAROLINA
REVISIONS	CONTRACTOR PARAMOUNT ENGINEERING, INC. 123 CANTON DRIVE WASHINGTON, NORTH CAROLINA 28386 (919) 742-0919 (P) (919) 742-0919 (F)	DETAILS

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



	PROJECT STATUS CONTRACT DOCUMENTS PRELIMINARY PERMITS BIDDING CONSTRUCTION COMPLETION	DRAWING INFORMATION DRAWING NO. C-6.9 SHEET NO. 1 OF 1 DATE: 04/01/2024	DETAILED INFORMATION PROJECT NO. 2023-001 PROJECT NAME: [REDACTED]	CLIENT INFORMATION LOGAN DEVELOPERS, INC. 60 CREGORY ROAD, SUITE 1 RHEM, NC 28451	DESIGNER INFORMATION PARAMOUNT 123 Cedar Drive Raleigh, NC 27601 Phone: (919) 771-6700 Fax: (919) 771-6700	TOWNSHIP INFORMATION TOPSHAM TOWNSHIP PENDER COUNTY, NORTH CAROLINA	DATE 04/01/2024	C-6.9
	DETAILS							

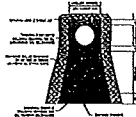
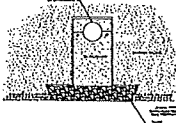
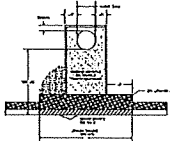
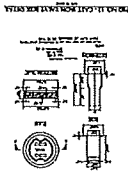
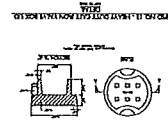
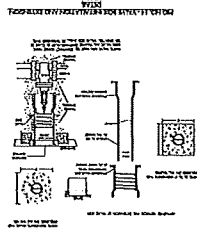
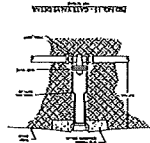
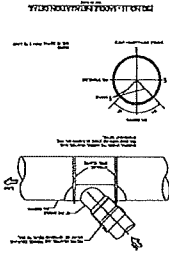
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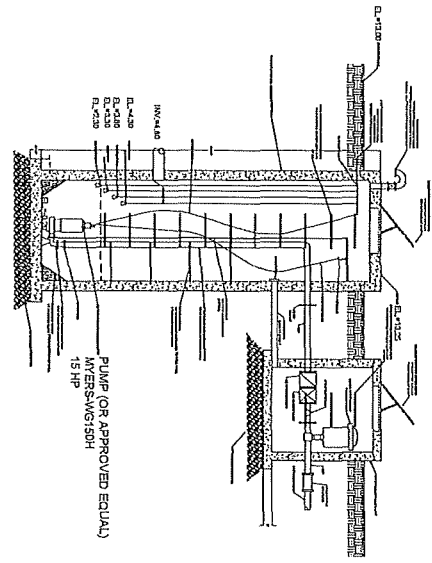


PROJECT STATUS PROJECT NO. 24-0000 SHEET NO. 100 DATE 04/01/2024 DRAWN BY [REDACTED] CHECKED BY [REDACTED]		DETAILS DEBNS LANE TOPSAIL TOWNSHIP PENDER COUNTY, NORTH CAROLINA	PARAMOUNT 123 County Drive Wakefield, North Carolina 26103 (319) 791-6707 (F) (319) 791-6700 (R) NC License # C-2846	LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELVILLE, NC 28451	REVISIONS _____ _____ _____ _____
					C-6.10 DATE 04/01/2024

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PIORS, LLC
 STANDARD DETAILS SHEET B



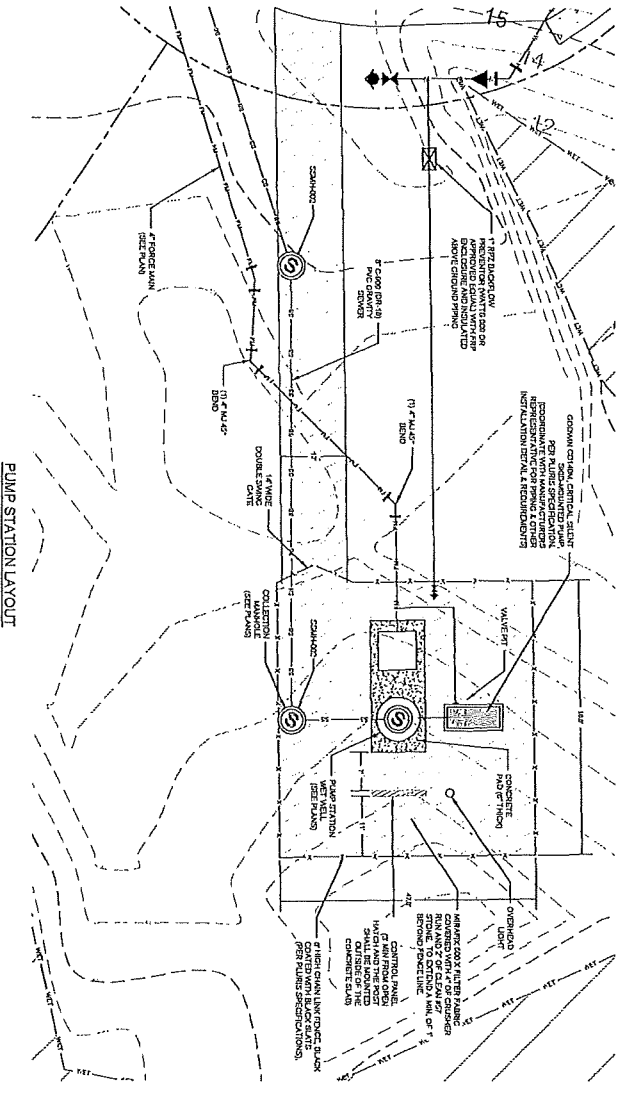


ESP. NO. 25. TYPICAL DUPLEX LIFT STATION SECTION

DETAIL

SECTION

STANDARD DETAIL SHEET D
PHS/EEG



PUMP STATION LAYOUT
SCALE: 1" = 4'-0"

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

C-6.11
PENDING STATE



PROJECT STATUS	
NO. OF PAGES	12
NO. OF SHEETS	11
NO. OF FIGURES	1
NO. OF NOTES	1
NO. OF REVISIONS	0

DRAWING FOR WATCH	
DATE	11/21/21
SCALE	AS SHOWN
NO. OF SHEETS	11
DATE	11/21/21

DETAILS
EDENS LANE
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PARAMOUNT ENGINEERS
123 Courts Drive
Wilmington, North Carolina 28403
(919) 791-6707 (F) (919) 791-4760 (B)
NC License # C-2846

CLIENT INFORMATION
LOGAN DEVELOPERS, INC.
60 GREGORY ROAD, SUITE 1
BELVILLE, NC 28451

REVISIONS